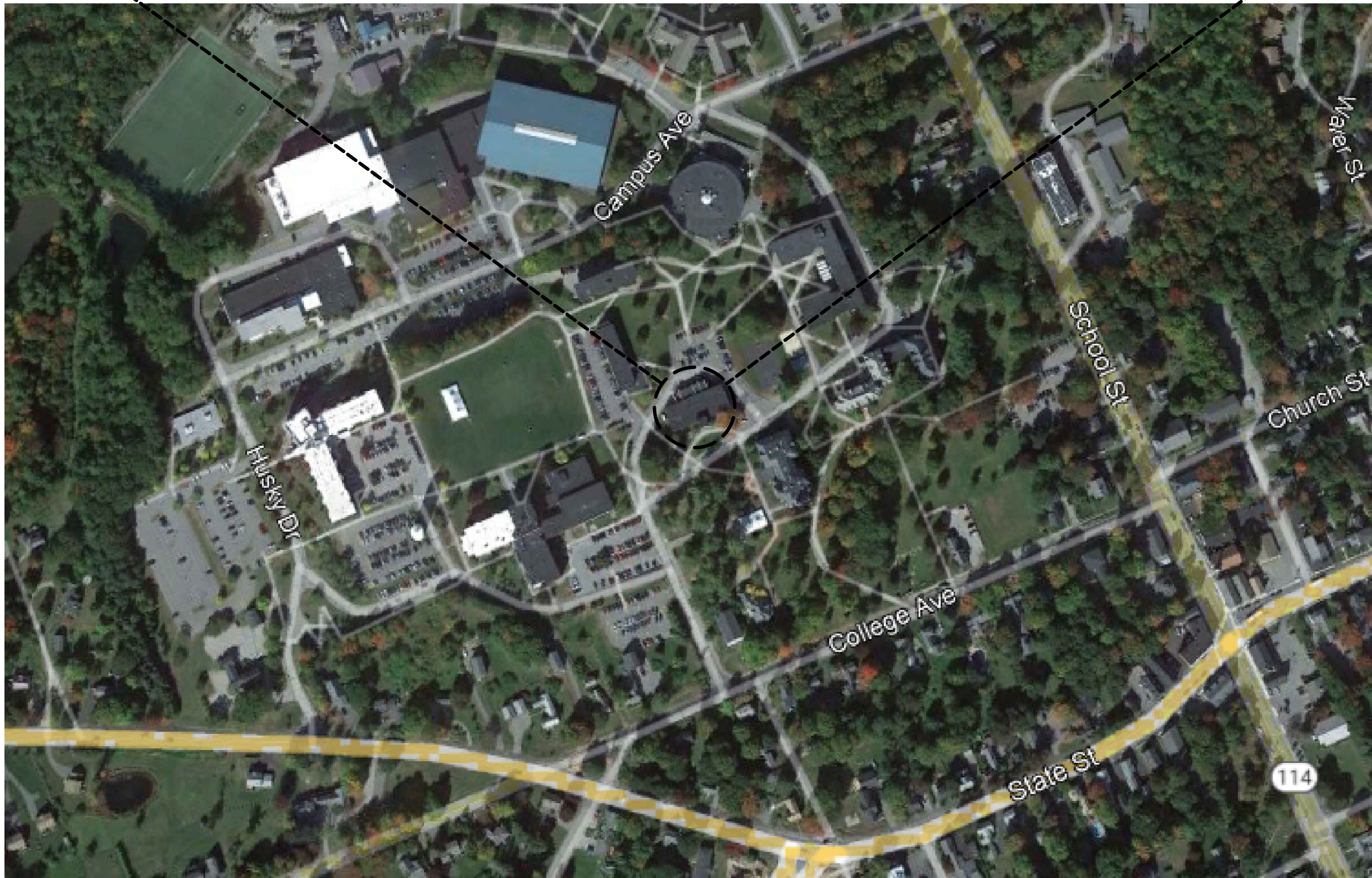
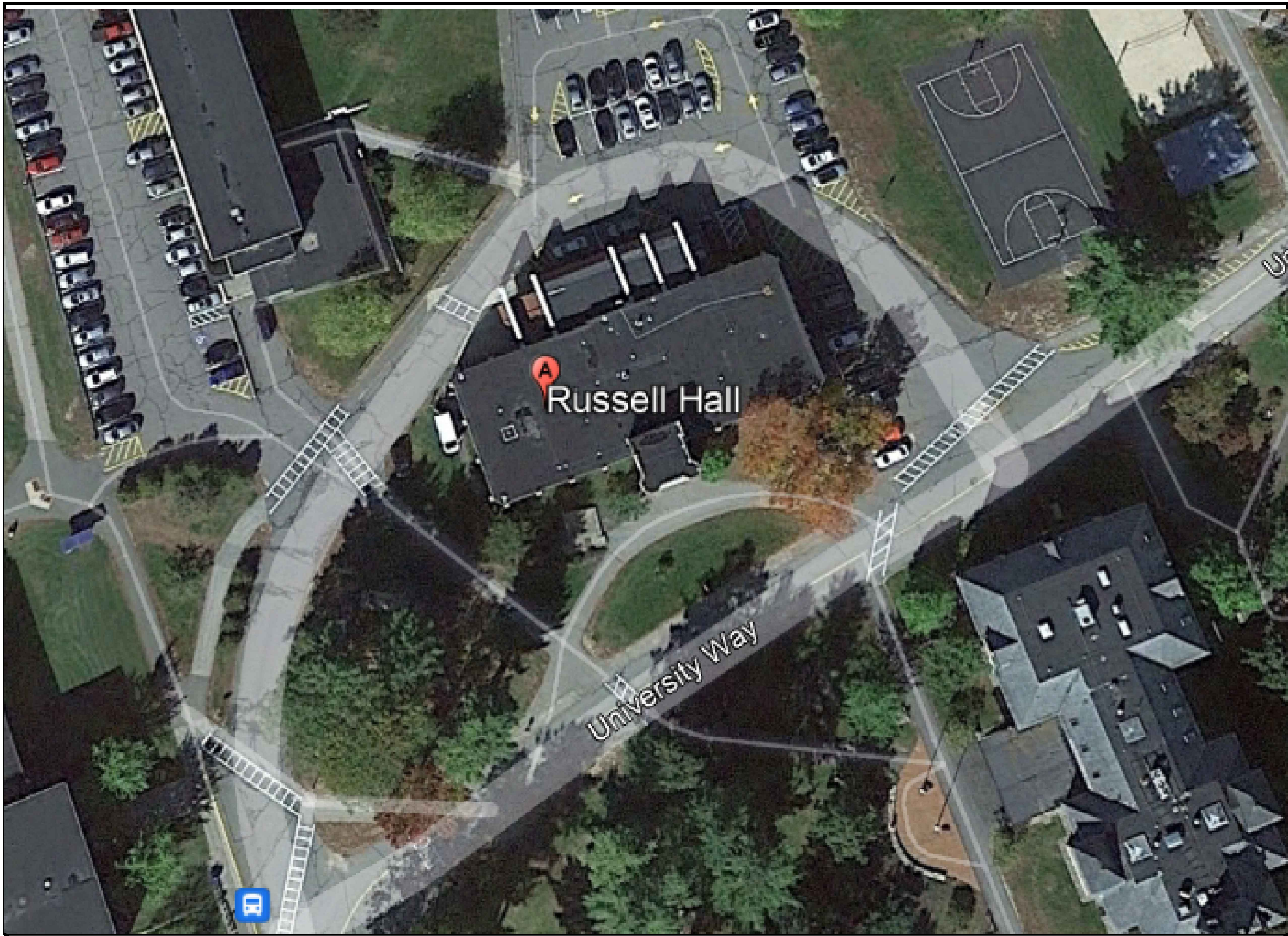


BUILDING ENVELOPE UPGRADES AT
RUSSELL HALL
UNIVERSITY OF SOUTHERN MAINE

24 UNIVERSITY WAY
GORHAM, MAINE 04038

PREPARED FOR
UNIVERSITY OF SOUTHERN MAINE
30 UNIVERSITY WAY
GORHAM, MAINE 04038

DRAWING NO	TITLE
G100	COVER SHEET
G101	SITE PLAN
G102	ATTACHMENT LAYOUT PLAN AND EXISTING/ NEW CROSS SECTIONS
A101	OVERALL ROOF AREA PLAN
A201	ELEVATIONS
A202	ELEVATIONS
A203	ELEVATIONS
A204	ELEVATIONS
A205	ELEVATIONS
A401	WINDOW AND DOOR DETAILS
A501	DETAILS
A502	DETAILS
A503	DETAILS
A504	DETAILS
A505	CAST STONE DETAILS
A506	CAST STONE DETAILS
A507	TYPICAL CAST STONE CONDITION PHOTOS





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BID DOCUMENTS

PROJECT	BUILDING ENVELOPE UPGRADES AT RUSSELL HALL, UNIVERSITY OF SOUTHERN ME 24 UNIVERSITY WAY, GORHAM, ME 04038
	OWNER UNIVERSITY OF MAINE SYSTEM BY AND THROUGH UNIVERSITY OF MAINE 24 UNIVERSITY WAY GORHAM, ME 04038

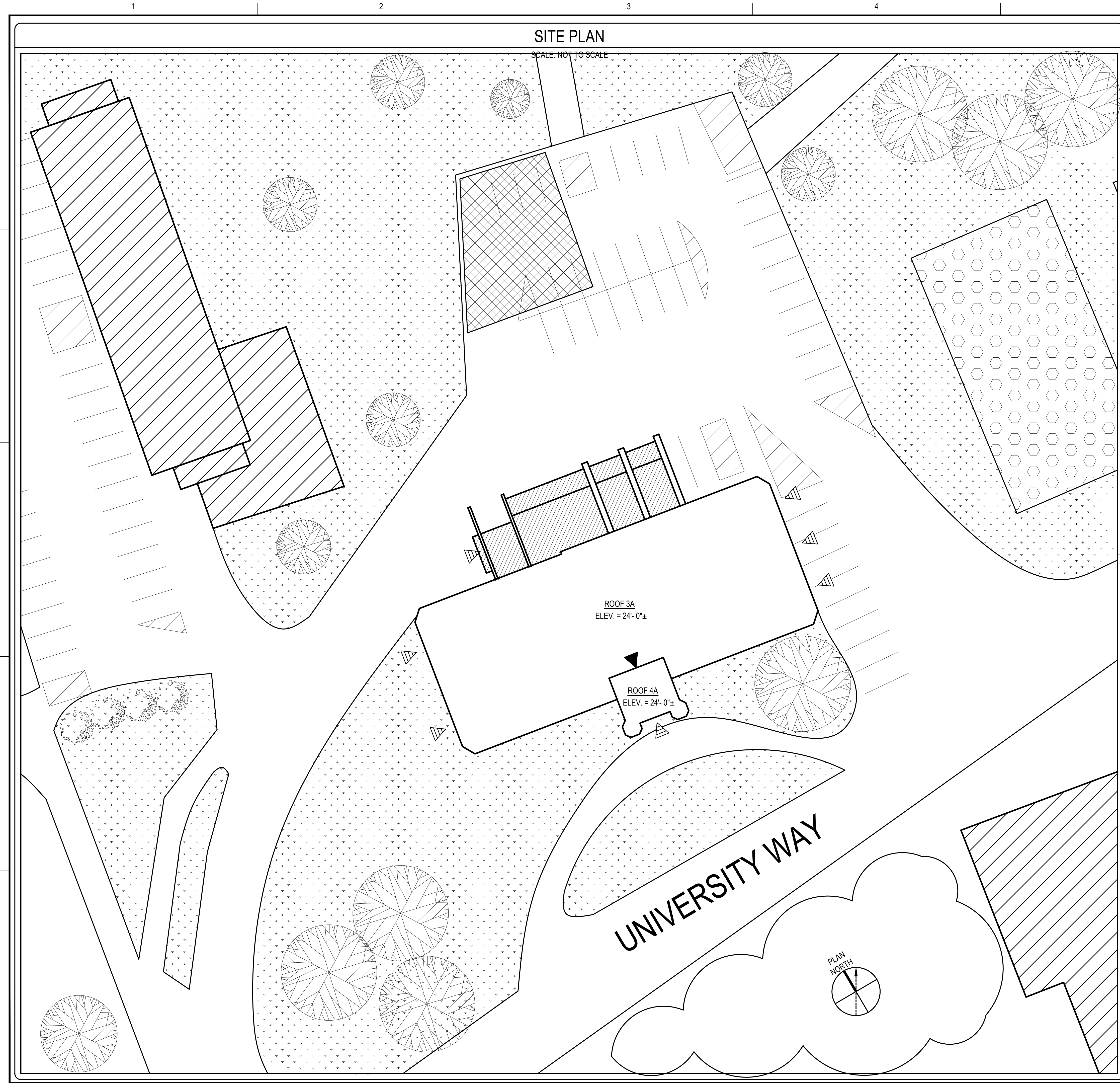
NO.	DATE	DESCRIPTION	BY
PROJECT NO.	842520		
CADD FILE	842520 G100		
DESIGNED BY	ALS		
DRAWN BY	MRS / DAC		
CHECKED BY	ALS / BHN		
DATE	02/20/2025		
DRAWING SCALE	NOT TO SCALE		

GRAPHIC SCALE

SHEET TITLE

COVER SHEET

DRAWING NO.
G100



SITE PLAN NOTES

- CONTRACTOR SHALL BASE STAGING REQUIREMENTS ON THE INFORMATION SHOWN. THE LOCATIONS ARE APPROXIMATE AND MAY BE SUBJECT TO CHANGE.
- CONTRACTOR WILL BE REQUIRED TO PROVIDE A DETAILED STAGING/LAYOUT PLAN FOR THE OWNER'S REVIEW AND APPROVAL.
- CONTRACTOR SHALL PROVIDE OVERHEAD PROTECTION AT BUILDING ENTRANCE WAYS IN ACCORDANCE WITH OSHA, LOCAL, STATE, AND FEDERAL GUIDELINES.
- OVERHEAD PROTECTION SHALL EXTEND A MINIMUM OF 8'-0" BEYOND THE BUILDING'S ENTRANCES.
- CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES TO PREVENT PEDESTRIANS FROM ACCESSING THE WORK AREA, FROM WALKING UNDER WORK LOCATIONS, AND FROM WALKING UNDER THE CRANE AND LOADING AREAS.
- CONTRACTOR MAY PROVIDE TEMPORARY BARRICADES AT PEDESTRIAN WALKWAYS IN LIEU OF OVERHEAD PROTECTION SHOULD THE ROOF AREAS ABOVE SAID WALKWAYS BE REMOVED AND REPLACED IN THE SAME DAY. CONTRACTOR WILL BE REQUIRED TO PROVIDE A MONITOR AT GROUND LEVEL TO WARN PEDESTRIAN TRAFFIC OF THE ABOVE-ROOFLINE WORK.
- CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION FOR THE PAVED AREAS, CURBS, SIDEWALKS, AND LANDSCAPED AREAS TO PREVENT DAMAGE FROM THE WORK, MATERIALS, OR EQUIPMENT. THE CONTRACTOR WILL BE RESPONSIBLE TO REPAIR/REPLACE ANY DAMAGED LOCATIONS AT NO ADDITIONAL COST TO THE OWNER.

SITE PLAN LEGEND

	BUILDING OUTLINE		APPROXIMATE AREA OF DENSE TREES
	RESTRICTED PARKING		TREE
	PARKING SPACE		SHRUB
	ADA PARKING SPACE		BASKETBALL COURT
	BUILDING NOT IN CONTRACT		CONTRACTOR LAYDOWN AND STORAGE AREA
	GRASS AREA		
	BUILDING ENTRANCE		
	ROOF ACCESS DOOR		

GENERAL NOTES

- THE INFORMATION SHOWN ON THIS DRAWING HAS BEEN COMPILED FROM VARIOUS SOURCES AND MAY NOT REFLECT THE ACTUAL CONDITIONS AT THE TIME OF CONSTRUCTION.
- FOR THE SAKE OF CLARITY, EACH INDIVIDUAL DETAIL HAS NOT BEEN INDICATED ON THE PLANS AND/OR ELEVATIONS. INSTALLATION DETAILS HAVE BEEN INDICATED FOR TYPICAL COMPONENTS AT RANDOM LOCATIONS.
- HATCH PATTERNS ARE FOR REPRESENTATION ONLY AND SHOULD NOT BE USED AS A MEANS FOR QUANTIFYING.
- JOB SITE SAFETY IS THE CONTRACTOR'S RESPONSIBILITY. GALE REPRESENTATIVES, INCLUDING SUBCONSULTANTS RETAINED BY GALE, MAY VISIT THE JOB SITE FROM TIME TO TIME. THESE VISITS ARE FOR CLARIFICATIONS OF SPECIFIC DESIGN RELATED ISSUES ONLY AND ARE NOT FOR THE PURPOSES OF JOB SITE SAFETY. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLY WITH ALL SITE SAFETY APPLICABLE REQUIREMENTS.
- JOB SITE SAFETY IS THE CONTRACTOR'S RESPONSIBILITY. DESIGN TEAM REPRESENTATIVES, INCLUDING SUBCONSULTANTS RETAINED BY THE DESIGNER, MAY VISIT THE JOB SITE FROM TIME TO TIME. THESE VISITS ARE FOR CLARIFICATIONS OF SPECIFIC DESIGN RELATED ISSUES ONLY AND ARE NOT FOR THE PURPOSES OF JOB SITE SAFETY. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLY WITH ALL SITE SAFETY APPLICABLE REQUIREMENTS.
- ALL ITEMS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS APPLICABLE TO THE PROJECT.
- THE CONTRACTOR SHALL REPORT DETERIORATED OR UNSUITABLE STRUCTURAL COMPONENTS OR SUBSTRATES TO THE OWNER PRIOR TO PERFORMING ANY INSTALLATION WORK.
- THE CONTRACTOR IS CAUTIONED THAT DUE TO BUILDING OCCUPANCY, THE OWNER REQUIRES COMPLIANCE ON WORK HOURS, SCHEDULING, SET-UP, CLEANUP, PARKING, SECURITY, ETC. REFER TO SPECIFICATIONS FOR OWNER REQUIREMENTS.
- DETAILS NOT DEPICTED SHALL BE CONSTRUCTED IN A MANNER CONSISTENT WITH THE DETAIL DRAWINGS.
- REFER TO CONTRACT DOCUMENTS FOR WORK SCHEDULE LIMITATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL MATERIALS LISTED AND/OR INDICATED ON THE DRAWINGS OR NOTED IN THE WRITTEN SPECIFICATIONS, TYPICAL.
- THE BUILDING SHALL BE MAINTAINED IN A DUST FREE CONDITION. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY PROTECTION TO ENSURE THE INTERIOR OF THE BUILDING REMAINS DUST FREE. NO DEMOLITION CAN PROCEED UNTIL AN APPROVED TEMPORARY PROTECTION SYSTEM IS IN PLACE.
- NOTIFY THE OWNER OF WORK LOCATIONS A MINIMUM OF 72 HOURS IN ADVANCE IN ORDER THAT OCCUPANCY BELOW THE WORK AREAS MAY BE CONTROLLED.



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OWNER
UNIVERSITY OF MAINE SYSTEM BY AND THROUGH UNIVERSITY OF MAINE
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NO.	DATE	DESCRIPTION	BY
PROJECT NO.	842520		
CADD FILE	842520 G100s		
DESIGNED BY	ALS		
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CHECKED BY	ALS / BHN		
DATE	02/20/2025		
DRAWING SCALE	NOT TO SCALE		

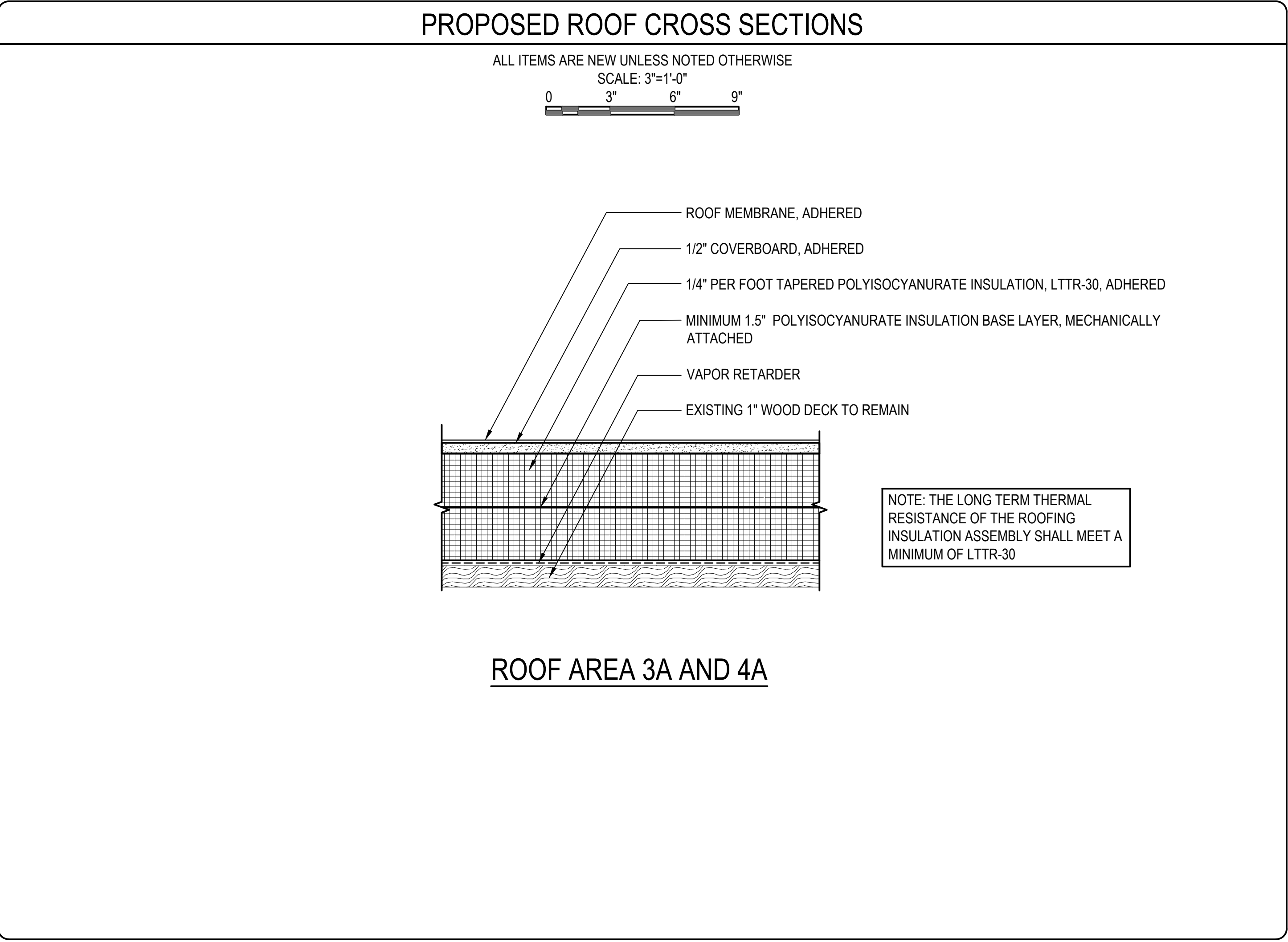
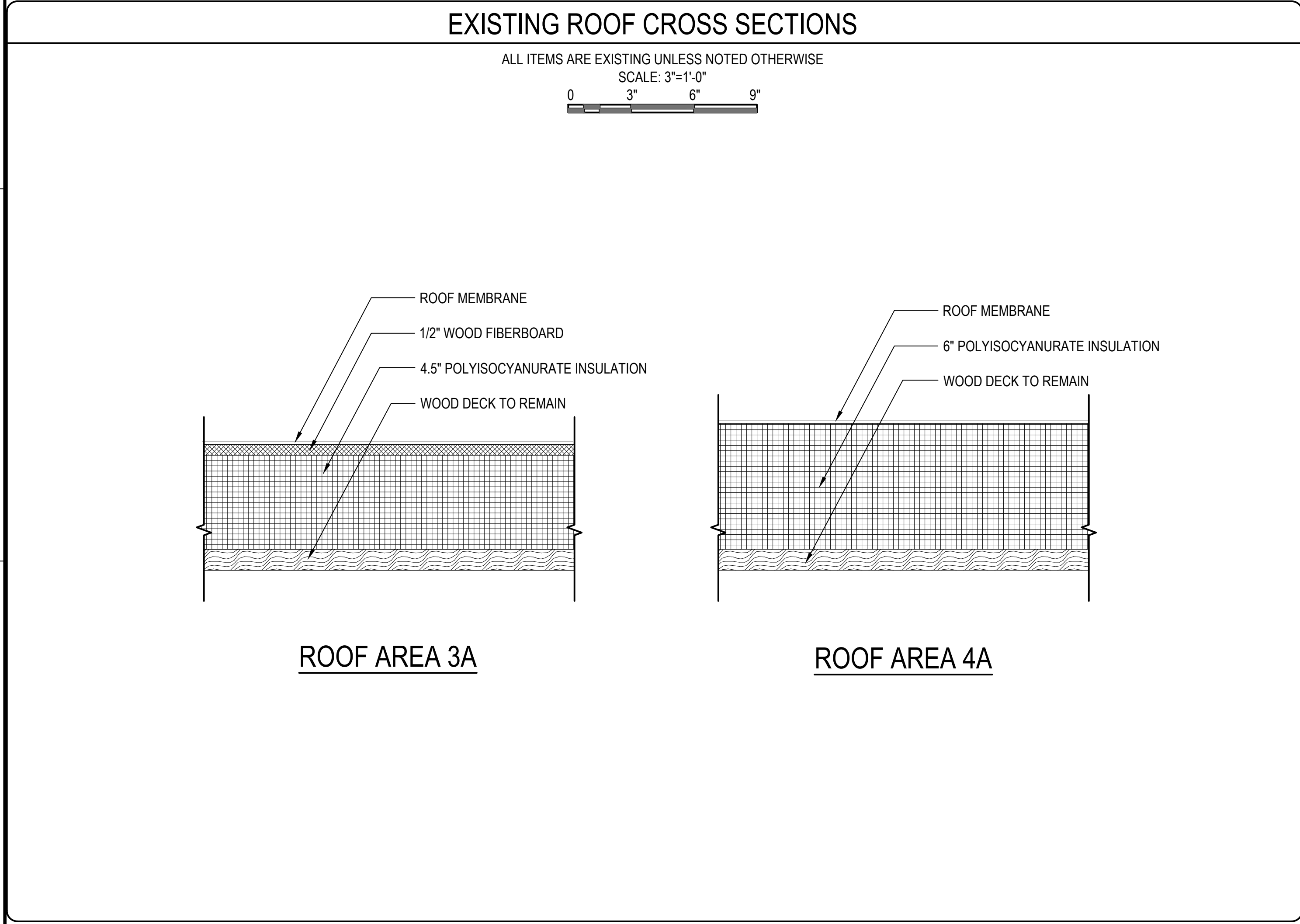
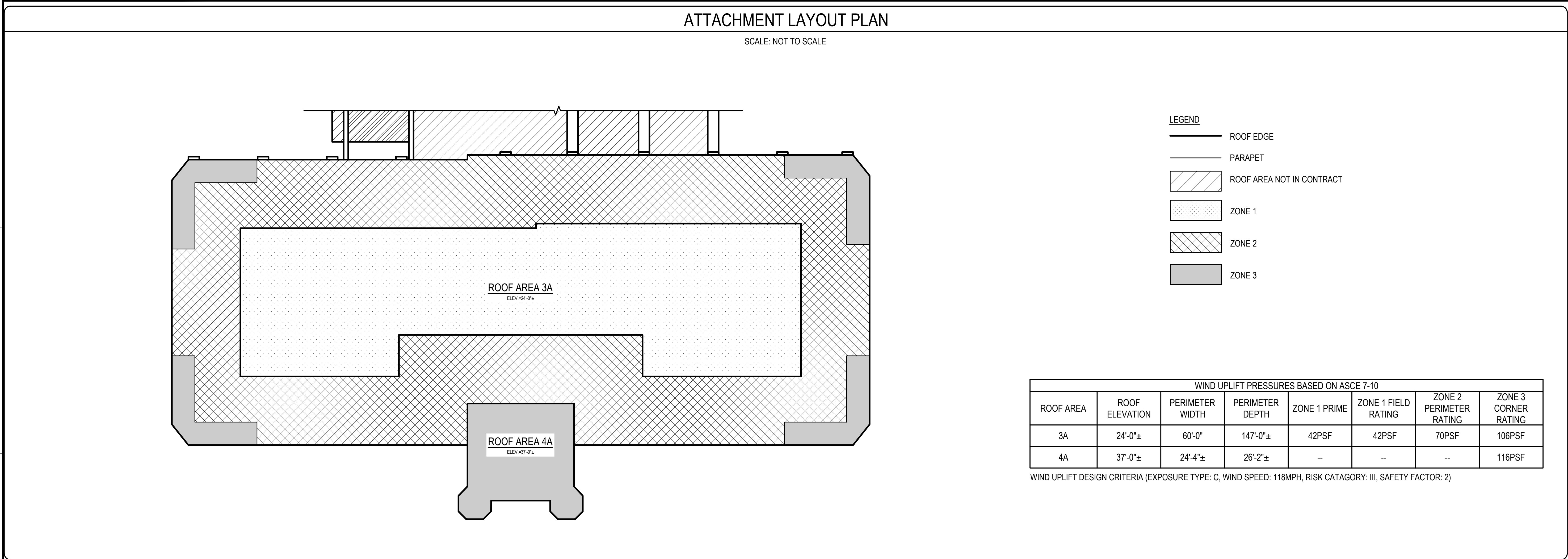
GRAPHIC SCALE

SHEET TITLE

SITE PLAN

DRAWING NO.

G101



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PROJECT

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OWNER

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DATE	02/20/2025		
DRAWING SCALE	AS NOTED		

GRAPHIC SCALE

SHEET TITLE

ATTACHMENT
LAYOUT PLAN AND
EXISTING/NEW
CROSS SECTIONS

DRAWING NO.

G102



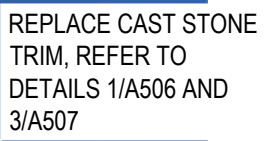
E

D

C

B

A



4 PARTIAL EAST ELEVATION
SCALE: N.T.S.

SCALE: N.T.S.






5 PARTIAL SOUTH ELEVATION - ALTERNATE NO. 2
SCALE: N.T.S.

SCALE: N.T.S

ELEVATION NOTES

1. THE ELEVATIONS ARE PROVIDED TO SHOW APPROXIMATE QUANTITIES AND CONFIGURATIONS. THE ACTUAL SIZES AND CONFIGURATIONS WILL VARY FROM THOSE SHOWN. THE CONTRACTOR SHALL BASE THE BID AMOUNTS ON ACTUAL FIELD CONDITIONS.
2. GRAPHIC HATCHING AND SYMBOLS ARE USED ON THE ELEVATION DRAWINGS TO INDICATE AREAS INCLUDED IN THE SCOPE OF WORK. ACTUAL DIMENSIONS AND QUANTITIES SHALL BE FIELD VERIFIED. REFER TO THE LEGEND ON THIS SHEET FOR THE CORRESPONDING SCOPE OF WORK ASSOCIATED WITH A PARTICULAR HATCH OR SYMBOL.
3. CONTRACTOR IS RESPONSIBLE FOR DESTROYING AND REMOVING BEE/HORNETS/WASPS NESTS WHICH MAY INFEST WALLS IN VARIOUS LOCATIONS. THESE LOCATIONS HAVE NOT BEEN SHOWN ON THE DOCUMENTS.
4. SCRAPE RUST, SCALE, AND DEBRIS FROM EXISTING WINDOW LINTEL.
5. REMOVE RUST, EFFLORESCENCE, AND/OR VEGETATION FROM BRICK MASONRY VENEER AT DESIGNATED LOCATIONS.
6. REMOVE EXISTING PERIMETER SEALANTS AND BACKER MATERIALS (100%).
7. REPOINT BRICK MASONRY 100% IN THE WORK LOCATIONS.
8. CLEAN WORK LOCATIONS 100%.
9. CLEAN ALL WINDOW/GLAZING UPON COMPLETION OF THE ELEVATION WORK.
10. REFER TO SHEET G101 FOR GENERAL NOTES.

REPAIR LEGEND

MASONRY		CONCRETE/STONE	
	CRACKED BRICK TO BE REPLACED; REFER TO DETAIL 12 ON DRAWING A503 # INDICATES UNITS		CRACKED CONCRETE TO BE REPAIRED; REFER TO DETAIL 2 ON DRAWING A504 # INDICATES LINEAR FEET
	SPALLED BRICK TO BE REPLACED; REFER TO DETAIL 12 ON DRAWING A503 # INDICATES UNITS		SPALLED CONCRETE TO BE REPAIRED; REFER TO DETAIL 3 ON DRAWING A504 # INDICATES SQUARE FEET S = SHALLOW SPALL D = DEEP SPALL
	DETERIORATED MORTAR JOINT TO BE REPAIRED; REFER TO DETAIL 1 ON DRAWING A504 # INDICATES SQUARE FEET		CRACKED CAST STONE TO BE REPAIRED; REFER TO DETAIL 6 ON DRAWING A504 # INDICATES LINEAR FEET
	DETERIORATED BRICK TO CASE STONE MORTAR JOINT TO BE REPAIRED; REFER TO DETAIL 1 ON DRAWING A504 # INDICATES LINEAR FEET		DELAMINATING CAST STONE TO BE REPAIRED; REFER TO DETAIL 4 AND 5 ON DRAWING A504 # INDICATES SQUARE FEET  = SHALLOW DELAMINATION  = DEEP DELAMINATION
	STEP CRACK (APPROXIMATE SCALE) TO BE REPAIRED; REFER TO DETAIL 16 ON DRAWING A503 # INDICATES LINEAR FEET		SPALLED CAST STONE TO BE REPAIRED; REFER TO DETAIL 4 AND 5 ON DRAWING A504 # INDICATES SQUARE FEET  = SHALLOW SPALL  = DEEP SPALL
	EXISTING ANCHOR/METAL STUD TO BE REMOVED AND PATCHED		REPLACE CAST STONE REFER TO DRAWING A505
	EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET	<h3>GLAZING</h3>	
	VEGETATIVE GROWTH TO BE CLEANED; # INDICATES SQUARE FEET		CRACKED GLAZING TO BE REPLACED; REFER TO DETAIL 5/A401 # INDICATES LINEAR FEET
	ATMOSPHERIC STAINING TO BE CLEANED; # INDICATES SQUARE FEET	<h3>SEALANTS</h3>	
	PREVIOUSLY REPAIRED MORTAR JOINT TO BE REMOVED AND REPAIRED; REFER TO DETAIL 1 ON DRAWING A504 # INDICATES SQUARE FEET		FAILED PERIMETER SEALANT TO BE REMOVED AND REPLACED; REFER TO DETAIL 6/A401 # INDICATES LINEAR FEET
	RUST STAINING ON LINTEL TO BE PAINTED; # INDICATES LINEAR FEET		FAILED SEALANT TO BE REMOVED AND REPLACED; REFER TO DETAIL 6/A401 # INDICATES LINEAR FEET
	BRICK MASONRY TO BE REBUILT; REFER TO DETAILS 12, 13, 14 AND 15 ON DRAWING A503		

GLAZING

CG CRACKED GLAZING TO BE REPLACED;
REFER TO DETAIL 5/A401
INDICATES LINEAR FEET

SEALANTS

PS
#

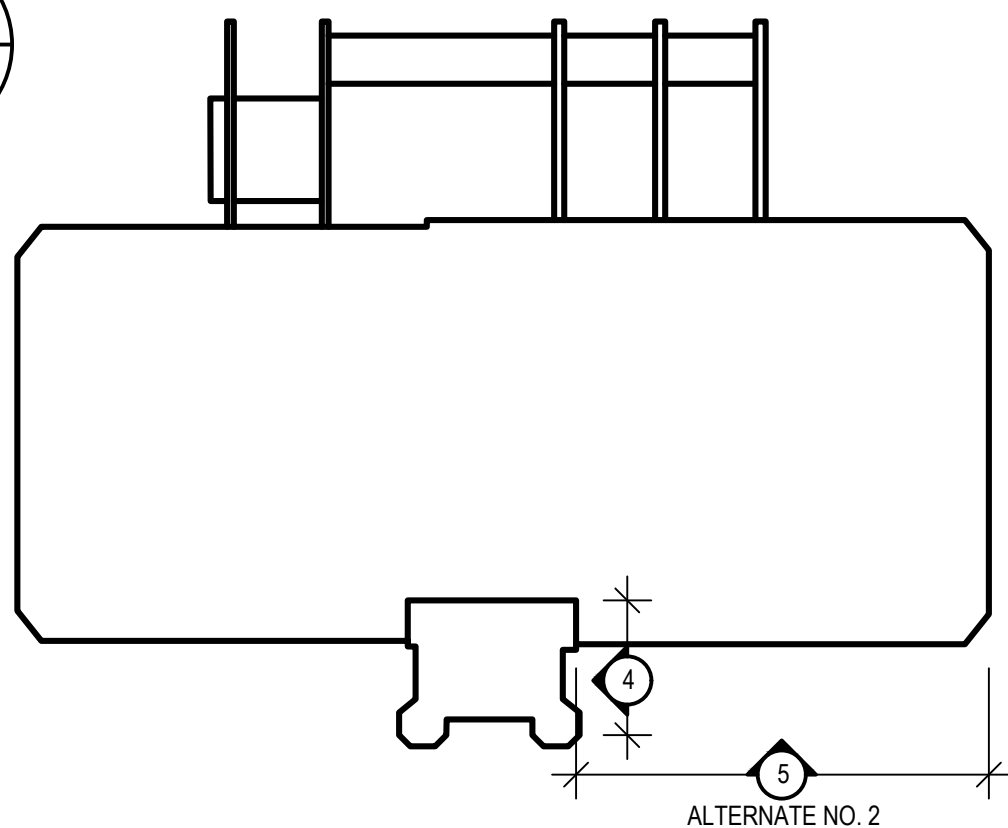
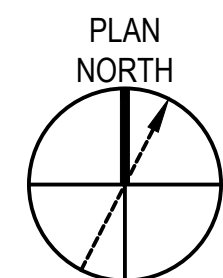
FAILED PERIMETER SEALANT TO BE RE
AND REPLACED; REFER TO DETAIL 6/A4
INDICATES LINEAR FEET

FS
#

FAILED SEALANT TO BE REMOVED AND
REPLACED; REFER TO DETAIL 6/A401
INDICATES LINEAR FEET

KEY PLAN

NOT TO SCALE



ALTERNATE NO. 2



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GORHAM, ME 04038

NO.	DATE	DESCRIPTION	BY
PROJECT NO.		842520	
CADD FILE		842520 A200S	
DESIGNED BY		ALS	
DRAWN BY		MRS	
CHECKED BY		ALS / BHN	
DATE		02/20/2025	
DRAWING SCALE		NOT TO SCALE	
GRAPHIC SCALE			

SHEET TITLE

ELEVATIONS

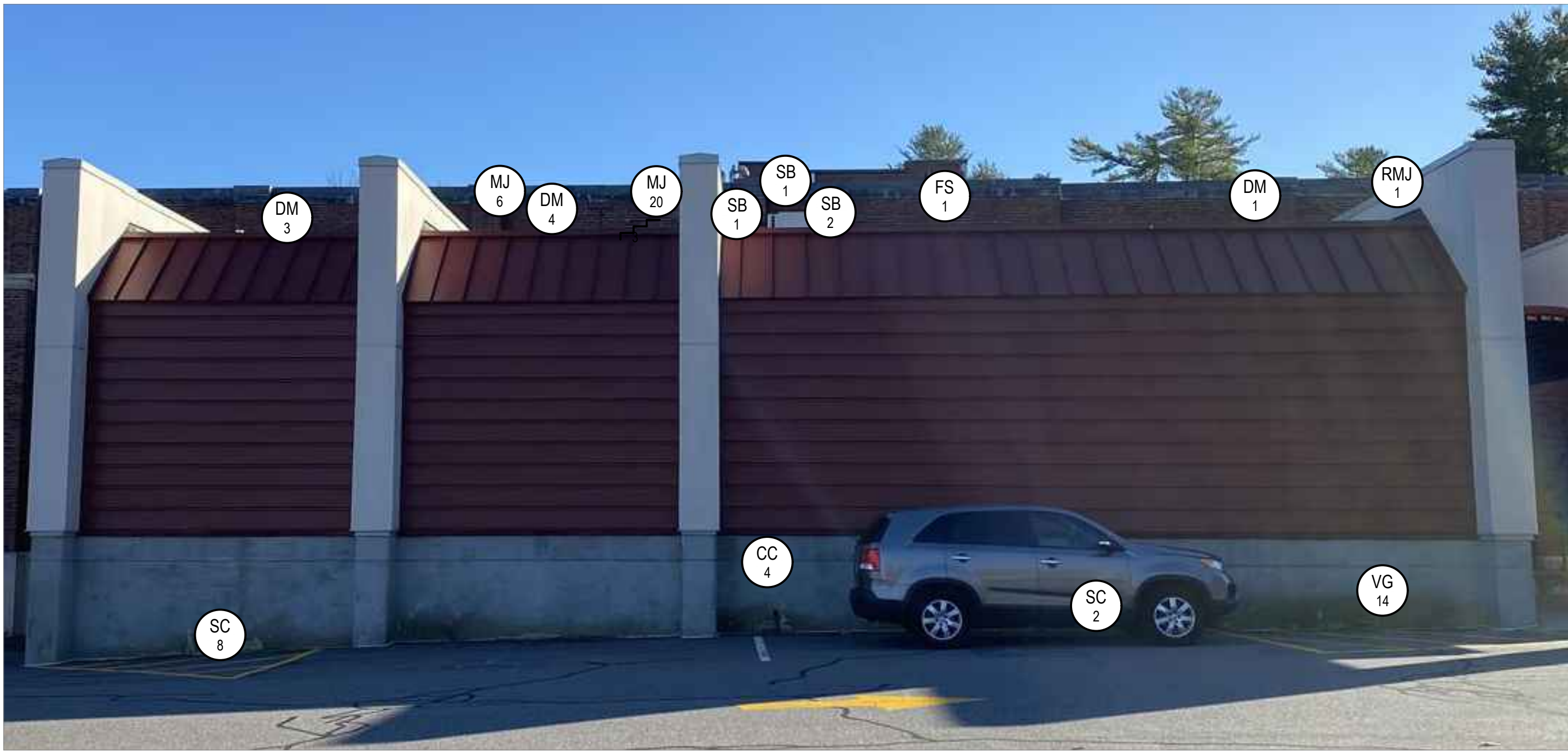
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A202

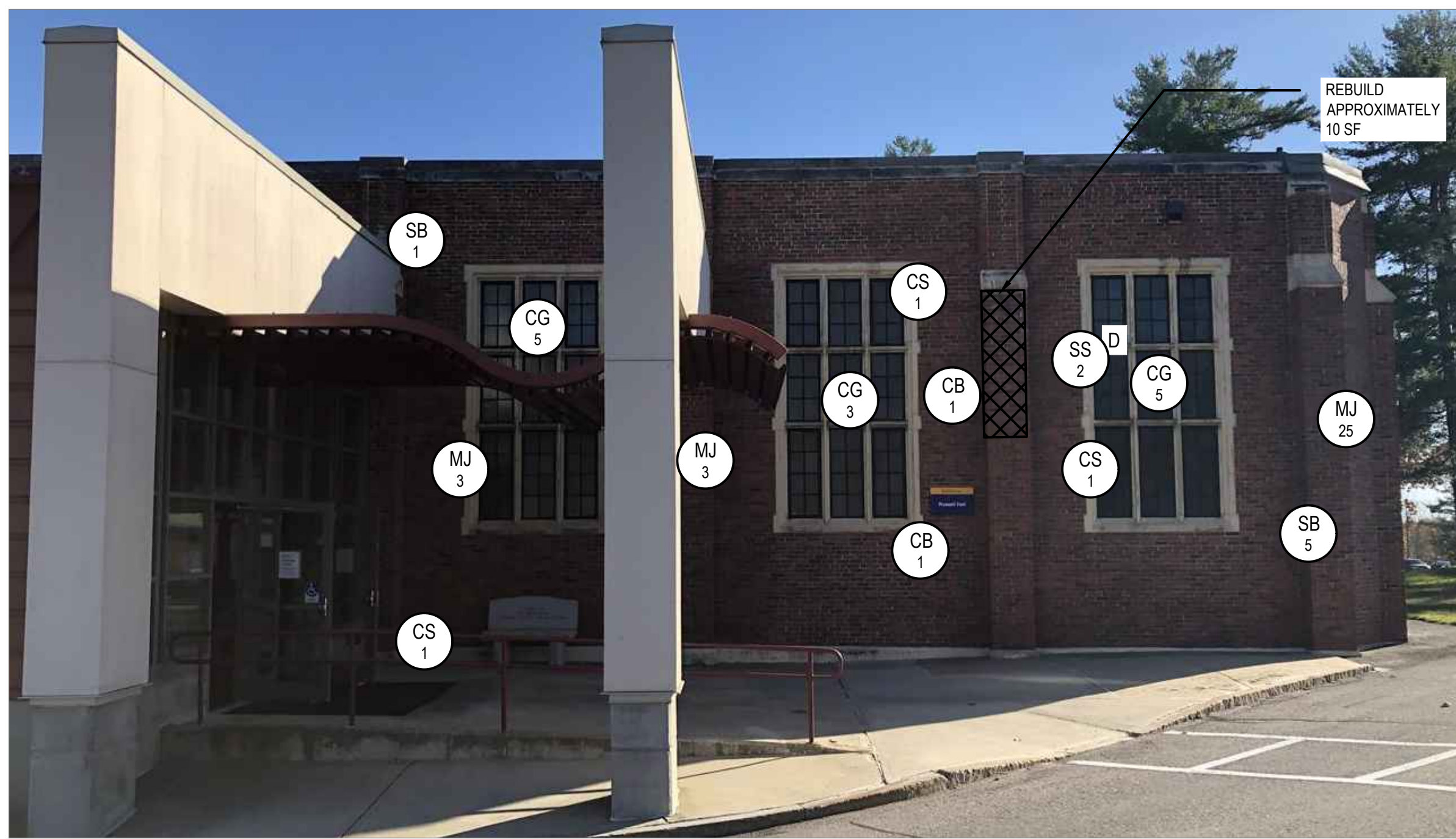


7 PARTIAL NORTH ELEVATION - ALTERNATE NO. 4
SCALE: N.T.S.

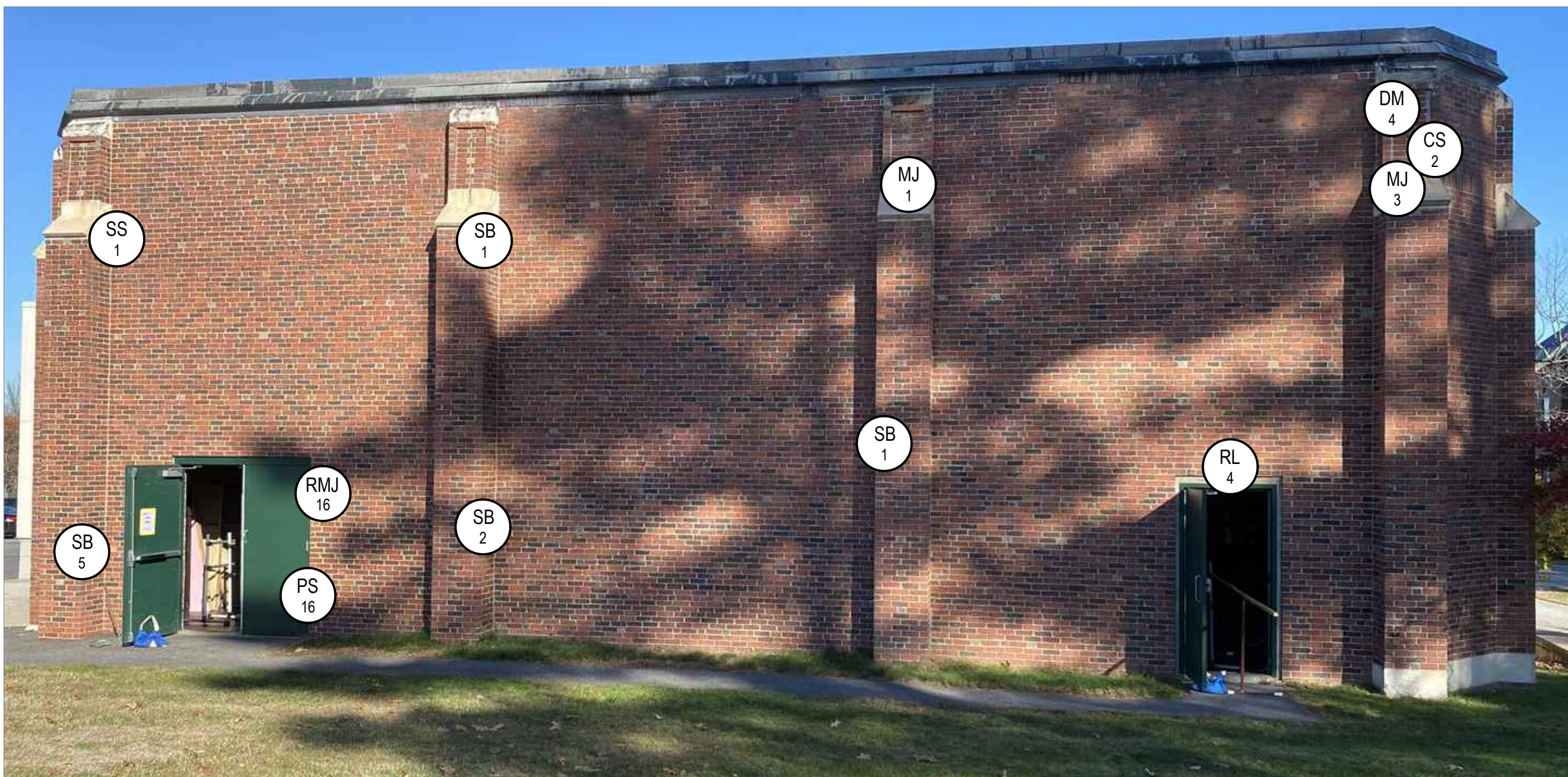




9 PARTIAL NORTH ELEVATION - ALTERNATE NO. 4
SCALE: N.T.S.



10 PARTIAL NORTH ELEVATION - ALTERNATE NO. 4
SCALE: N.T.S.



11 PARTIAL WEST ELEVATION - ALTERNATE NO. 5
SCALE: N.T.S.

REPAIR LEGEND	
MASONRY	CONCRETE/STONE
<div>CB #</div> CRACKED BRICK TO BE REPLACED; REFER TO DETAIL 12 ON DRAWING A503 # INDICATES UNITS	<div>CC #</div> CRACKED CONCRETE TO BE REPAIRED; REFER TO DETAIL 2 ON DRAWING A504 # INDICATES LINEAR FEET
<div>SB #</div> SPALLED BRICK TO BE REPLACED; REFER TO DETAIL 12 ON DRAWING A503 # INDICATES UNITS	<div>SC #</div> SPALLED CONCRETE TO BE REPAIRED; REFER TO DETAIL 3 ON DRAWING A504 # INDICATES SQUARE FEET S = SHALLOW SPALL D = DEEP SPALL
<div>DM #</div> DETERIORATED MORTAR JOINT TO BE REPAIRED; REFER TO DETAIL 1 ON DRAWING A504 # INDICATES SQUARE FEET	<div>CS #</div> CRACKED CAST STONE TO BE REPAIRED; REFER TO DETAIL 6 ON DRAWING A504 # INDICATES LINEAR FEET
<div>MJ #</div> DETERIORATED BRICK TO CASE STONE MORTAR JOINT TO BE REPAIRED; REFER TO DETAIL 1 ON DRAWING A504 # INDICATES LINEAR FEET	<div>DS #</div> DELAMINATING CAST STONE TO BE REPAIRED; REFER TO DETAIL 4 AND 5 ON DRAWING A504 # INDICATES SQUARE FEET S = SHALLOW DELAMINATION D = DEEP DELAMINATION
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<div>×</div> EXISTING ANCHOR/METAL STUB TO BE REMOVED AND PATCHED	<div> REPLACE CAST STONE REFER TO DRAWING A505</div>
<div>EF #</div> EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET	GLAZING
<div>VG #</div> VEGETATIVE GROWTH TO BE CLEANED; # INDICATES SQUARE FEET	<div>CG #</div> CRACKED GLAZING TO BE REPLACED; REFER TO DETAIL 5/A401 # INDICATES LINEAR FEET
<div>AS #</div> ATMOSPHERIC STAINING TO BE CLEANED; # INDICATES SQUARE FEET	SEALANTS
<div>RMJ #</div> PREVIOUSLY REPAIRED MORTAR JOINT TO BE REMOVED AND REPAIRED; REFER TO DETAIL 1 ON DRAWING A504 # INDICATES SQUARE FEET	<div>PS #</div> FAILED PERIMETER SEALANT TO BE REMOVED AND REPLACED; REFER TO DETAIL 6/A401 # INDICATES LINEAR FEET
<div>RL #</div> RUST STAINING ON LINTEL TO BE PAINTED; # INDICATES LINEAR FEET	<div>FS #</div> FAILED SEALANT TO BE REMOVED AND REPLACED; REFER TO DETAIL 6/A401 # INDICATES LINEAR FEET
<div> BRICK MASONRY TO BE REBUILT; REFER TO DETAILS 12, 13, 14 AND 15 ON DRAWING A503</div>	

ELEVATION NOTES

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KEY PLAN

NOT TO SCALE

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BID DOCUMENTS

PROJECT

**BUILDING ENVELOPE UPGRADES AT
RUSSELL HALL, UNIVERSITY OF SOUTHERN ME
24 UNIVERSITY WAY, GORHAM, ME 04038**

OWNER

UNIVERSITY OF MAINE SYSTEM BY AND THROUGH UNIVERSITY OF MAINE
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NO.	DATE	DESCRIPTION	BY
		PROJECT NO.	842520
		CADD FILE	842520 A200S
		DESIGNED BY	ALS
		DRAWN BY	MRS
		CHECKED BY	ALS / BHN
		DATE	02/20/2025
		DRAWING SCALE	NOT TO SCALE
GRAPHIC SCALE			
SHEET TITLE			
ELEVATIONS			
DRAWING NO.			A204

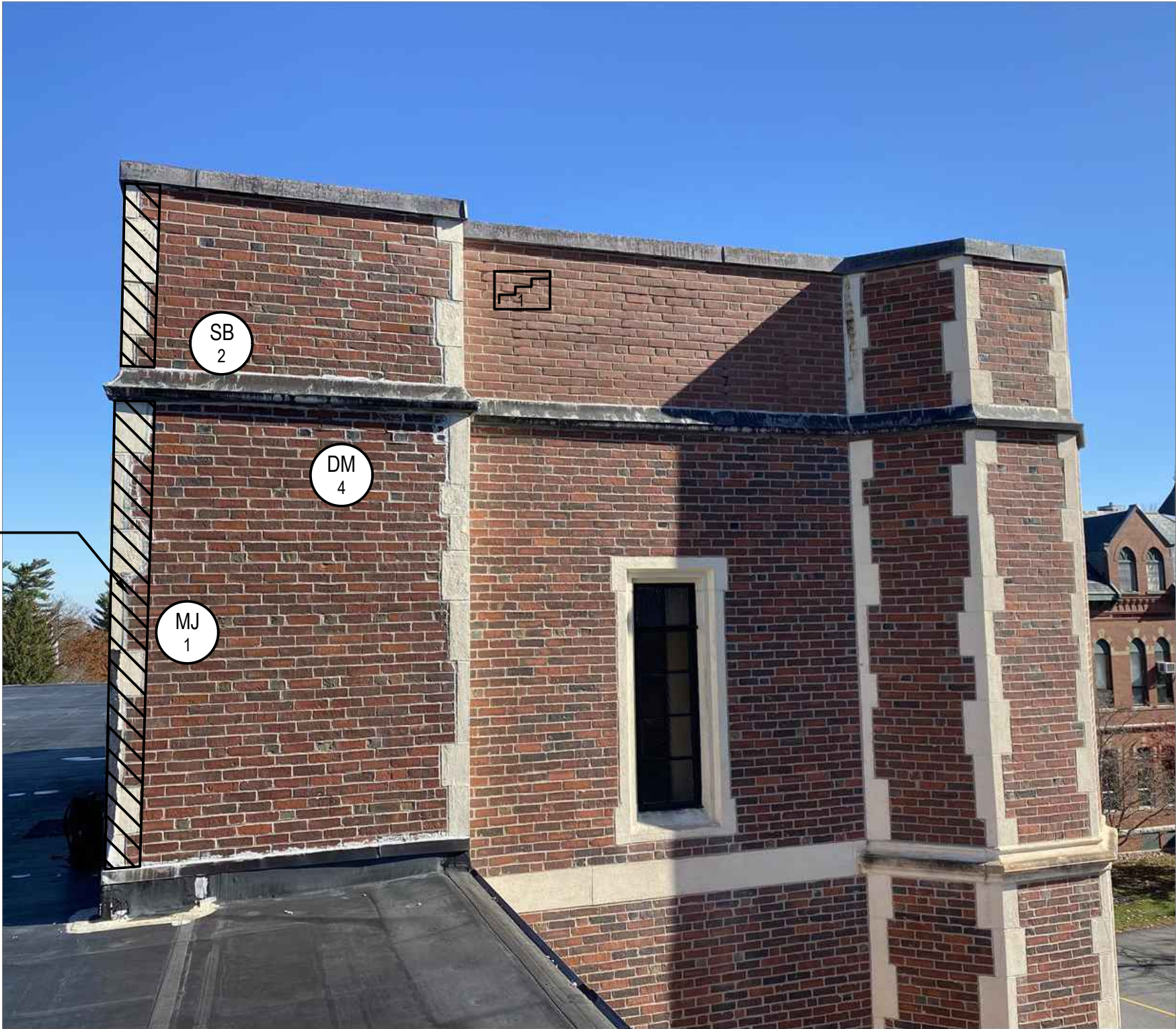
E

D

C

B

A



12 PARTIAL WEST ELEVATION
SCALE: N.T.S.



13 PARTIAL NORTH ELEVATION
SCALE: N.T.S.



14 PARTIAL EAST ELEVATION
SCALE: N.T.S.

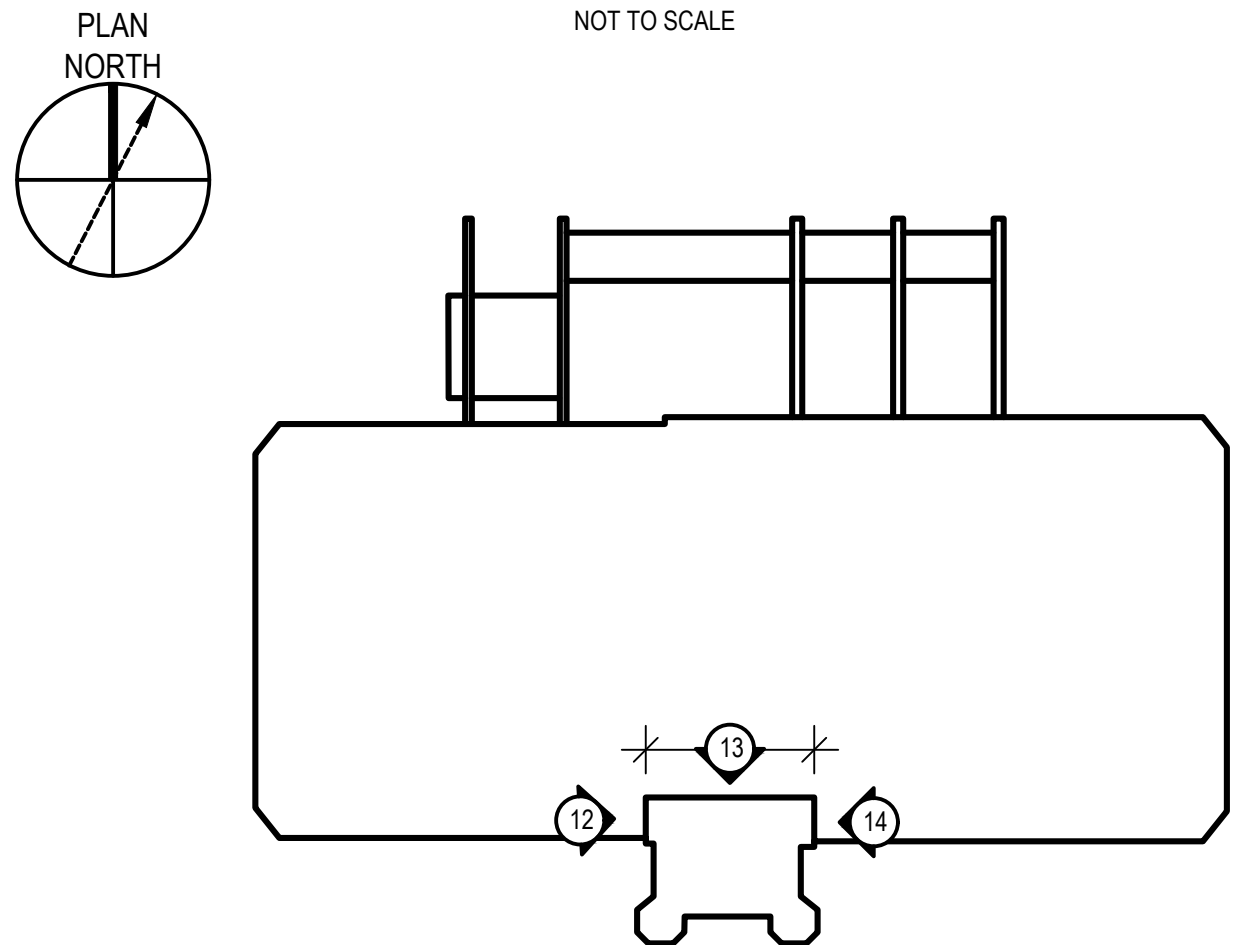
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- REPOINT BRICK MASONRY 100% IN THE WORK LOCATIONS.
- CLEAN WORK LOCATIONS 100%.
- CLEAN ALL WINDOW/GLAZING UPON COMPLETION OF THE ELEVATION WORK.
- REFER TO SHEET G101 FOR GENERAL NOTES.

REPAIR LEGEND

MASONRY	CONCRETE/STONE
<div>CB #</div> <div>CRACKED BRICK TO BE REPLACED; REFER TO DETAIL 12 ON DRAWING A503 # INDICATES UNITS</div>	<div>CC #</div> <div>CRACKED CONCRETE TO BE REPAIRED; REFER TO DETAIL 2 ON DRAWING A504 # INDICATES LINEAR FEET</div>
<div>SB #</div> <div>SPALLED BRICK TO BE REPLACED; REFER TO DETAIL 12 ON DRAWING A503 # INDICATES UNITS</div>	<div>SC #</div> <div>SPALLED CONCRETE TO BE REPAIRED; REFER TO DETAIL 3 ON DRAWING A504 # INDICATES SQUARE FEET S = SHALLOW SPALL D = DEEP SPALL</div>
<div>DM #</div> <div>DETERIORATED MORTAR JOINT TO BE REPAIRED; REFER TO DETAIL 1 ON DRAWING A504 # INDICATES SQUARE FEET</div>	<div>CS #</div> <div>CRACKED CAST STONE TO BE REPAIRED; REFER TO DETAIL 6 ON DRAWING A504 # INDICATES LINEAR FEET</div>
<div>MJ #</div> <div>DETERIORATED BRICK TO CASE STONE MORTAR JOINT TO BE REPAIRED; REFER TO DETAIL 1 ON DRAWING A504 # INDICATES LINEAR FEET</div>	<div>DS #</div> <div>DELAMINATING CAST STONE TO BE REPAIRED; REFER TO DETAIL 4 AND 5 ON DRAWING A504 # INDICATES SQUARE FEET S= SHALLOW DELAMINATION D= DEEP DELAMINATION</div>
<div>FC</div> <div>STEP CRACK (APPROXIMATE SCALE) TO BE REPAIRED; REFER TO DETAIL 16 ON DRAWING A503 # INDICATES LINEAR FEET</div>	<div>SS #</div> <div>SPALLED CAST STONE TO BE REPAIRED; REFER TO DETAIL 4 AND 5 ON DRAWING A504 # INDICATES SQUARE FEET S= SHALLOW SPALL D= DEEP SPALL</div>
<div>X</div> <div>EXISTING ANCHOR/METAL STUB TO BE REMOVED AND PATCHED</div>	<div>REPLACE CAST STONE REFER TO DRAWING A505</div>
<div>EF #</div> <div>EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET</div>	<div>GLAZING</div>
<div>VG #</div> <div>VEGETATIVE GROWTH TO BE CLEANED; # INDICATES SQUARE FEET</div>	<div>CG #</div> <div>CRACKED GLAZING TO BE REPLACED; REFER TO DETAIL 5/A401 # INDICATES LINEAR FEET</div>
<div>AS #</div> <div>ATMOSPHERIC STAINING TO BE CLEANED; # INDICATES SQUARE FEET</div>	<div>SEALANTS</div>
<div>RMJ #</div> <div>PREVIOUSLY REPAIRED MORTAR JOINT TO BE REMOVED AND REPAIRED; REFER TO DETAIL 1 ON DRAWING A504 # INDICATES SQUARE FEET</div>	<div>PS #</div> <div>FAILED PERIMETER SEALANT TO BE REMOVED AND REPLACED; REFER TO DETAIL 6/A401 # INDICATES LINEAR FEET</div>
<div>RL #</div> <div>RUST STAINING ON LINTEL TO BE PAINTED; # INDICATES LINEAR FEET</div>	<div>FS #</div> <div>FAILED SEALANT TO BE REMOVED AND REPLACED; REFER TO DETAIL 6/A401 # INDICATES LINEAR FEET</div>
<div>BRICK MASONRY TO BE REBUILT; REFER TO DETAILS 12, 13, 14 AND 15 ON DRAWING A503</div>	

KEY PLAN



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BID DOCUMENTS

PROJECT
BUILDING ENVELOPE UPGRADES AT
RUSSELL HALL, UNIVERSITY OF SOUTHERN ME
24 UNIVERSITY WAY, GORHAM, ME 04038

OWNER
UNIVERSITY OF MAINE SYSTEM BY AND THROUGH UNIVERSITY OF MAINE
24 UNIVERSITY WAY
GORHAM, ME 04038

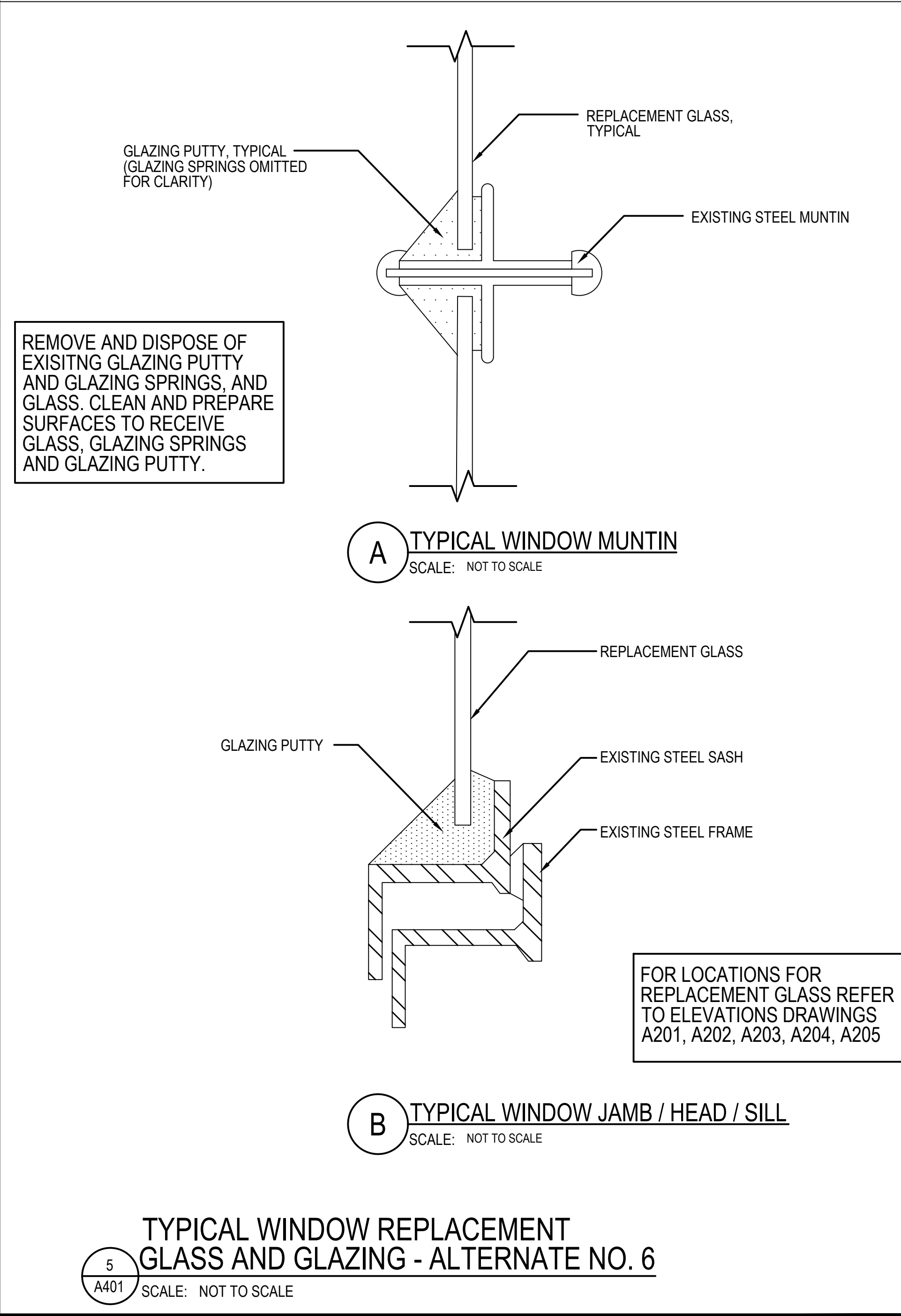
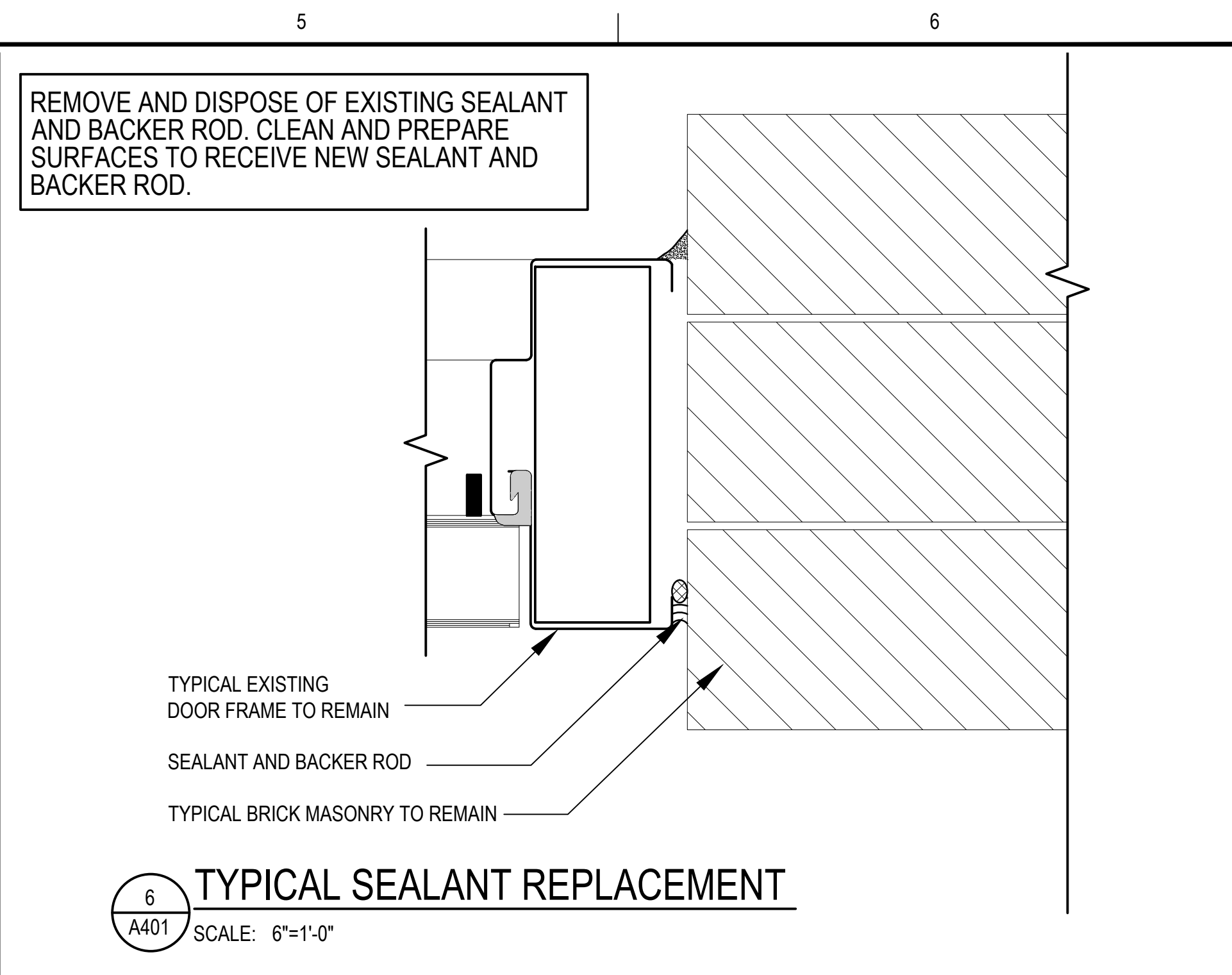
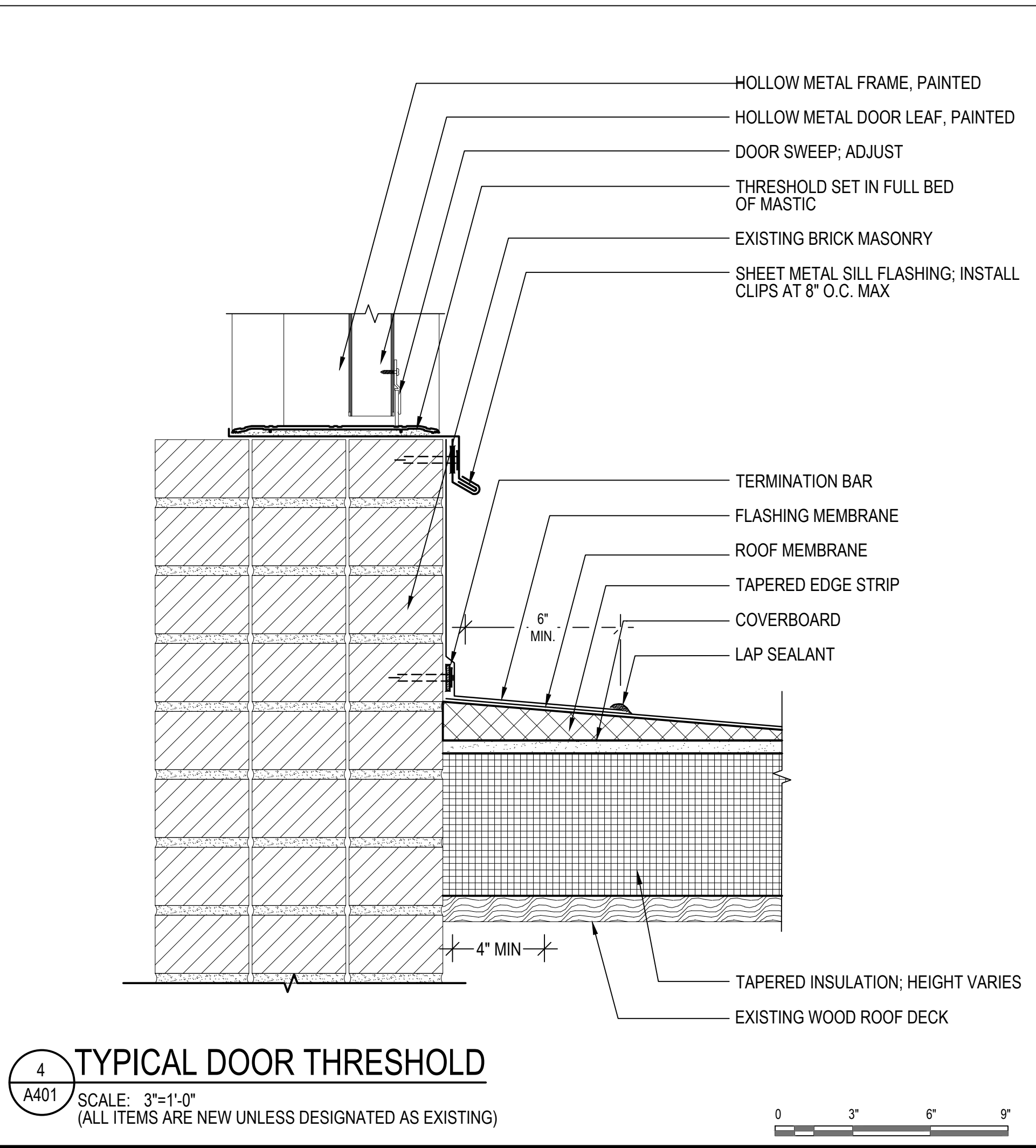
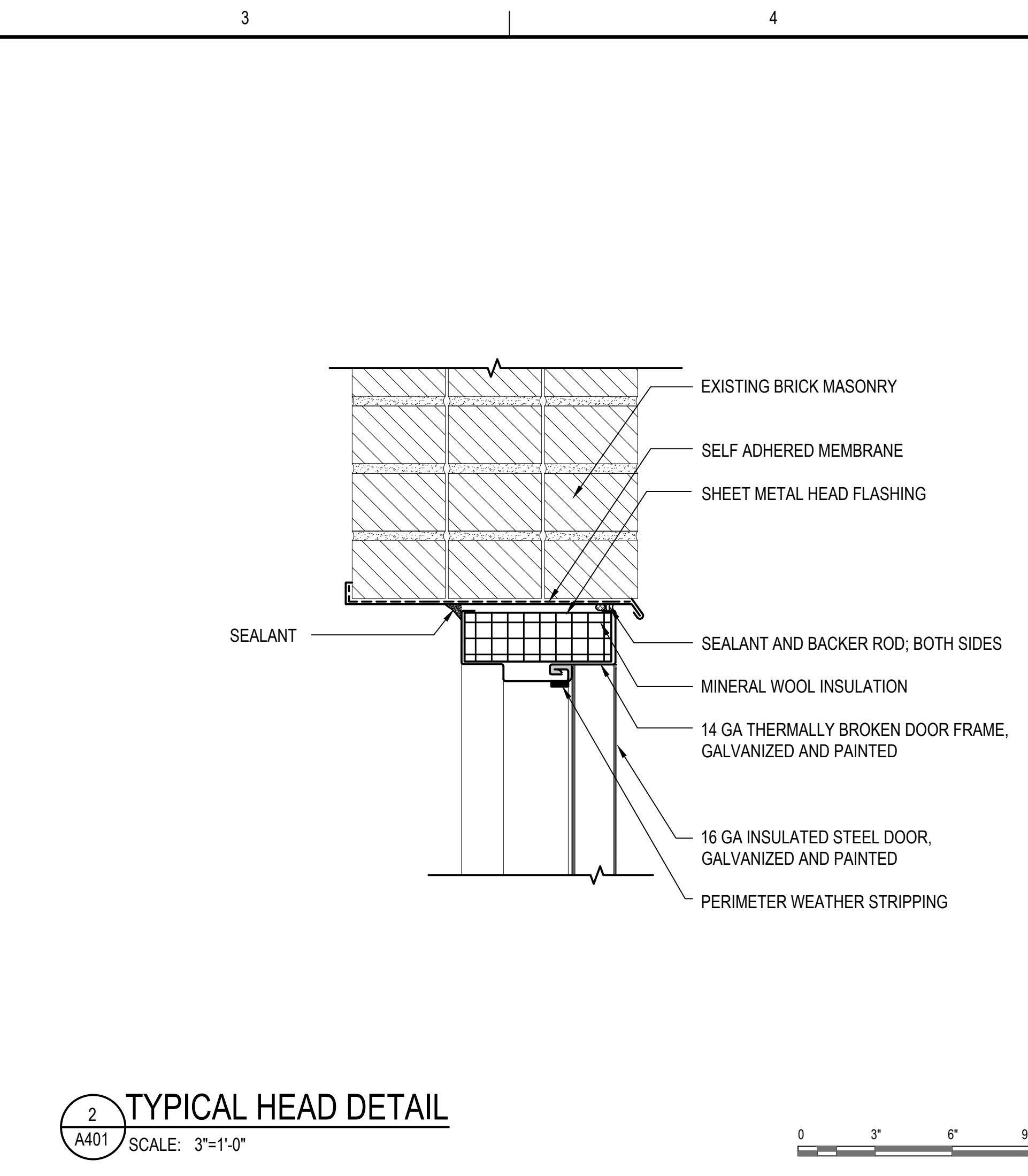
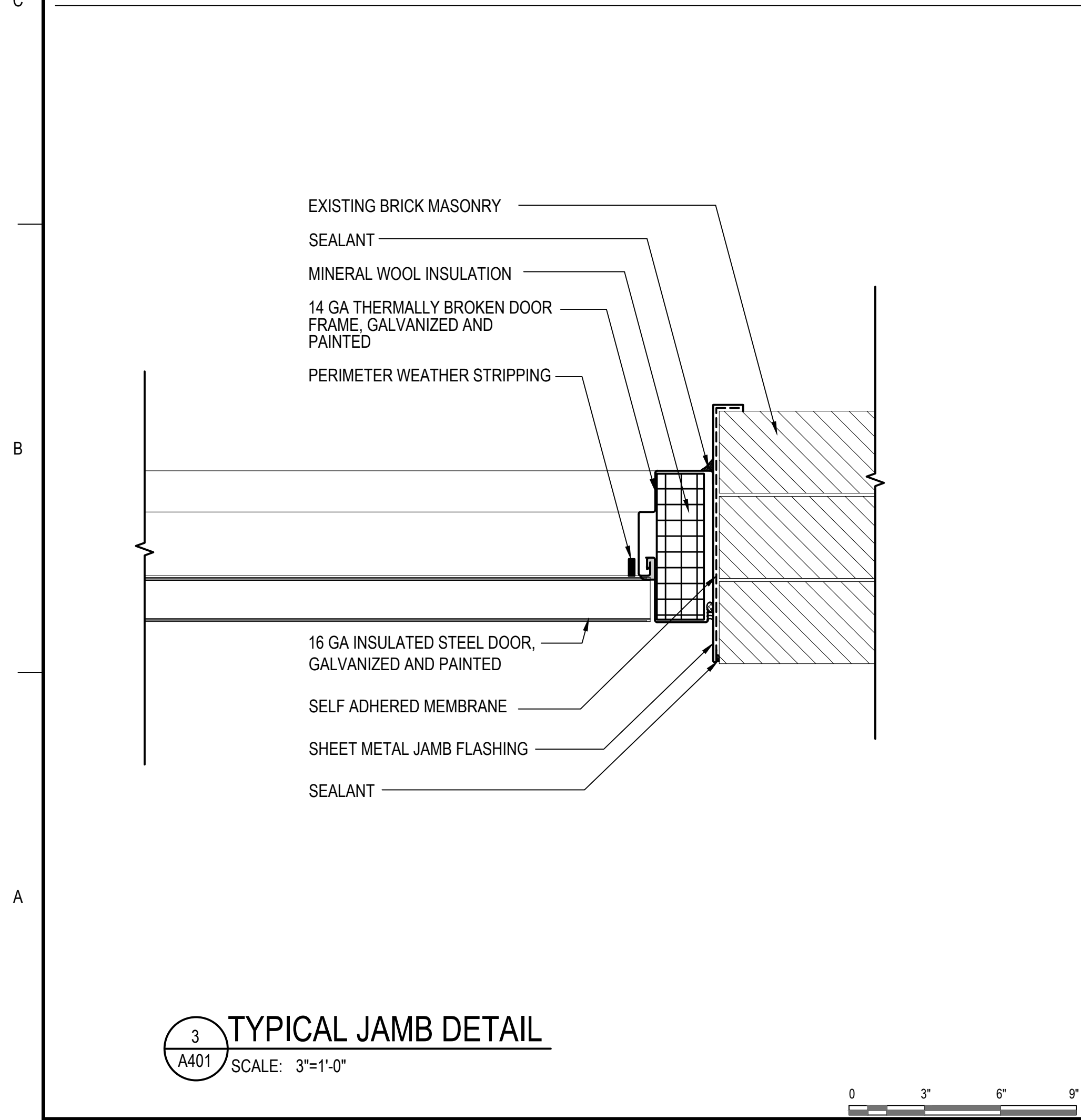
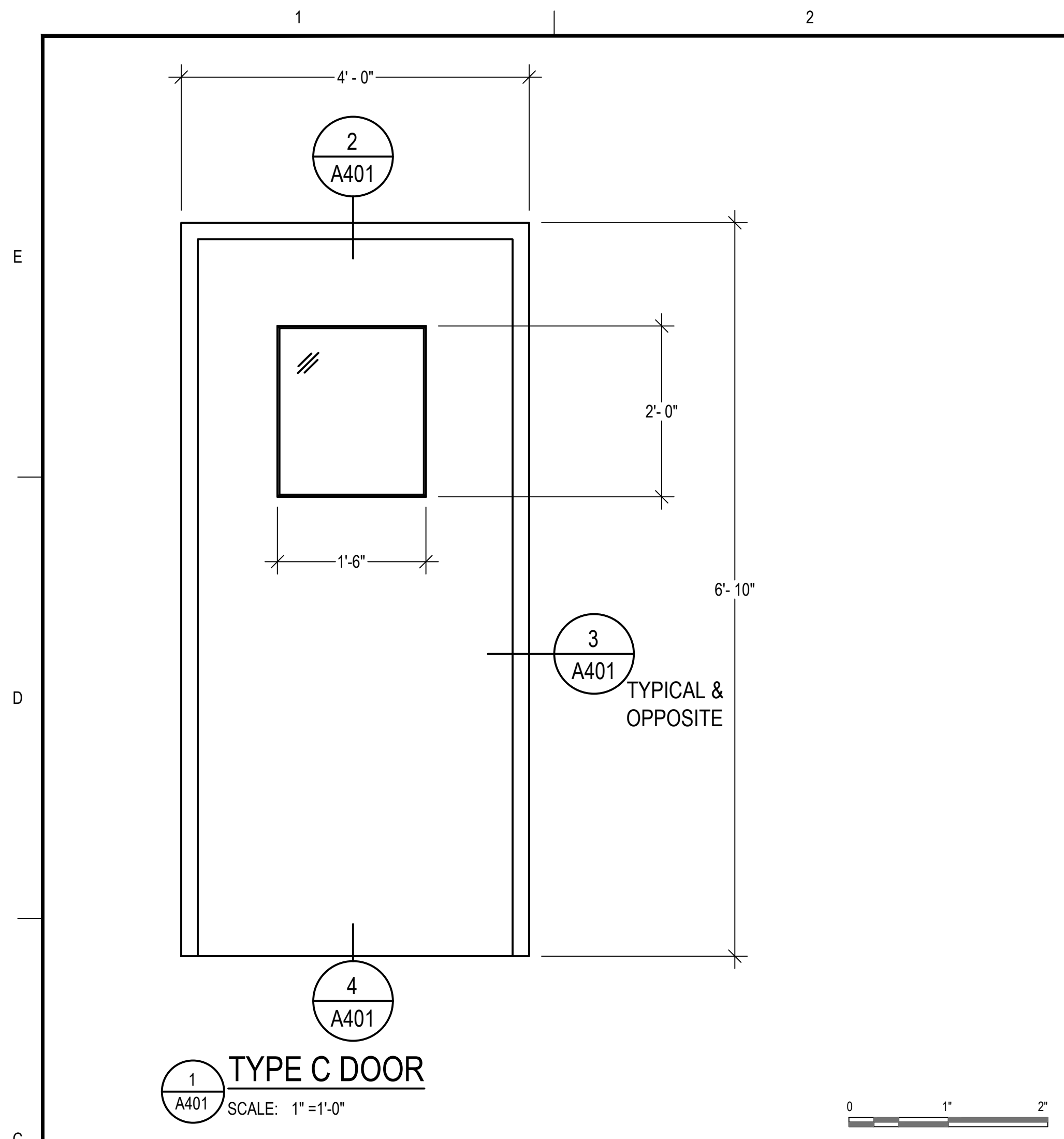
NO.	DATE	DESCRIPTION	BY
PROJECT NO.	842520		
CADD FILE	842520 A200S		
DESIGNED BY	ALS		
DRAWN BY	MRS		
CHECKED BY	ALS / BHN		
DATE	02/20/2025		
DRAWING SCALE	NOT TO SCALE		
GRAPHIC SCALE			

SHEET TITLE

ELEVATIONS

DRAWING NO.

A205



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OWNER
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24 UNIVERSITY WAY
GORHAM, ME 04038

NO.	DATE	DESCRIPTION	BY
PROJECT NO.	842520		
CADD FILE	842520 A400s		
DESIGNED BY	ALS		
DRAWN BY			
CHECKED BY	ALS / BHN		
DATE	02/20/2025		
DRAWING SCALE	3"=1'-0"		

GRAPHIC SCALE

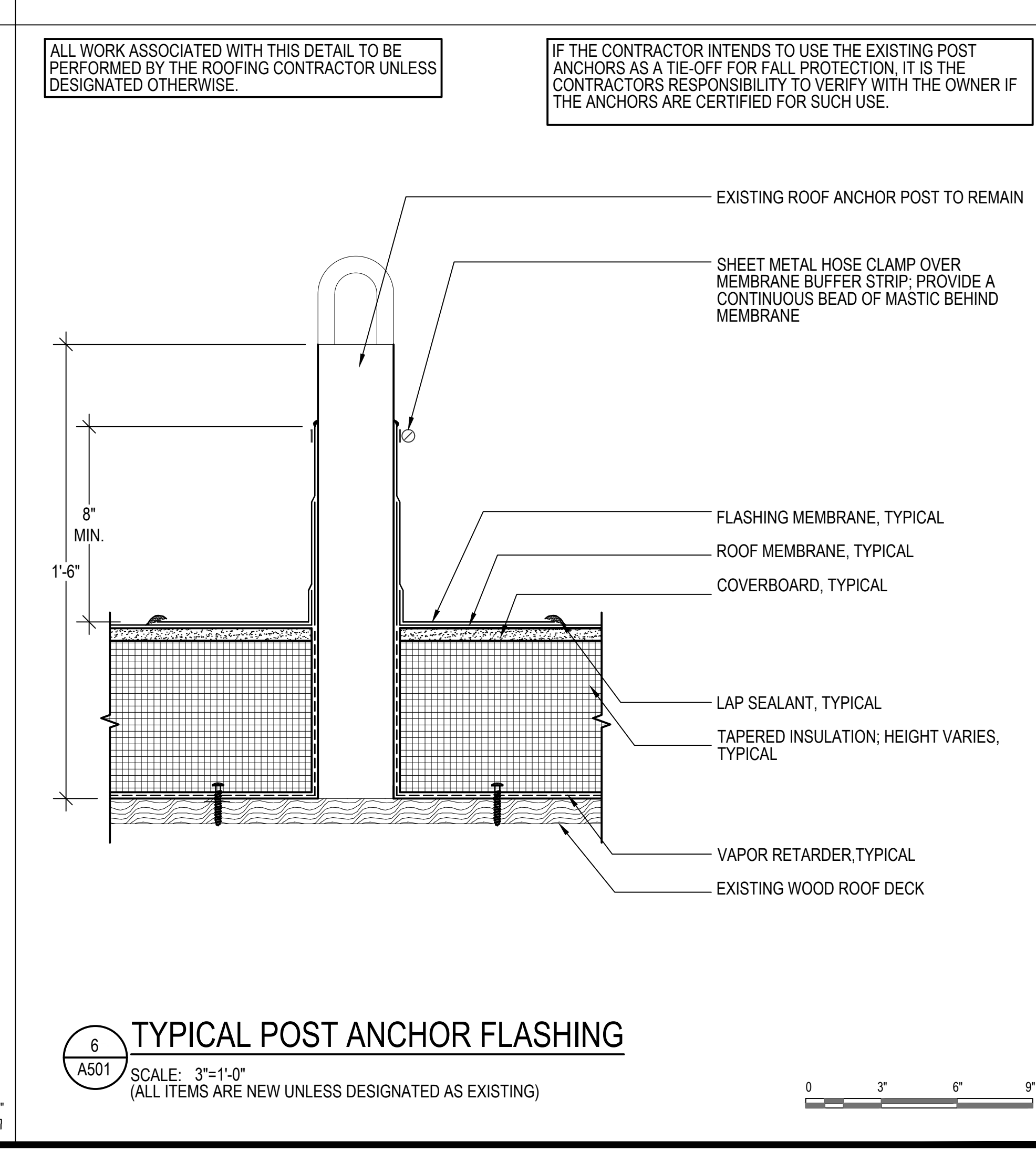
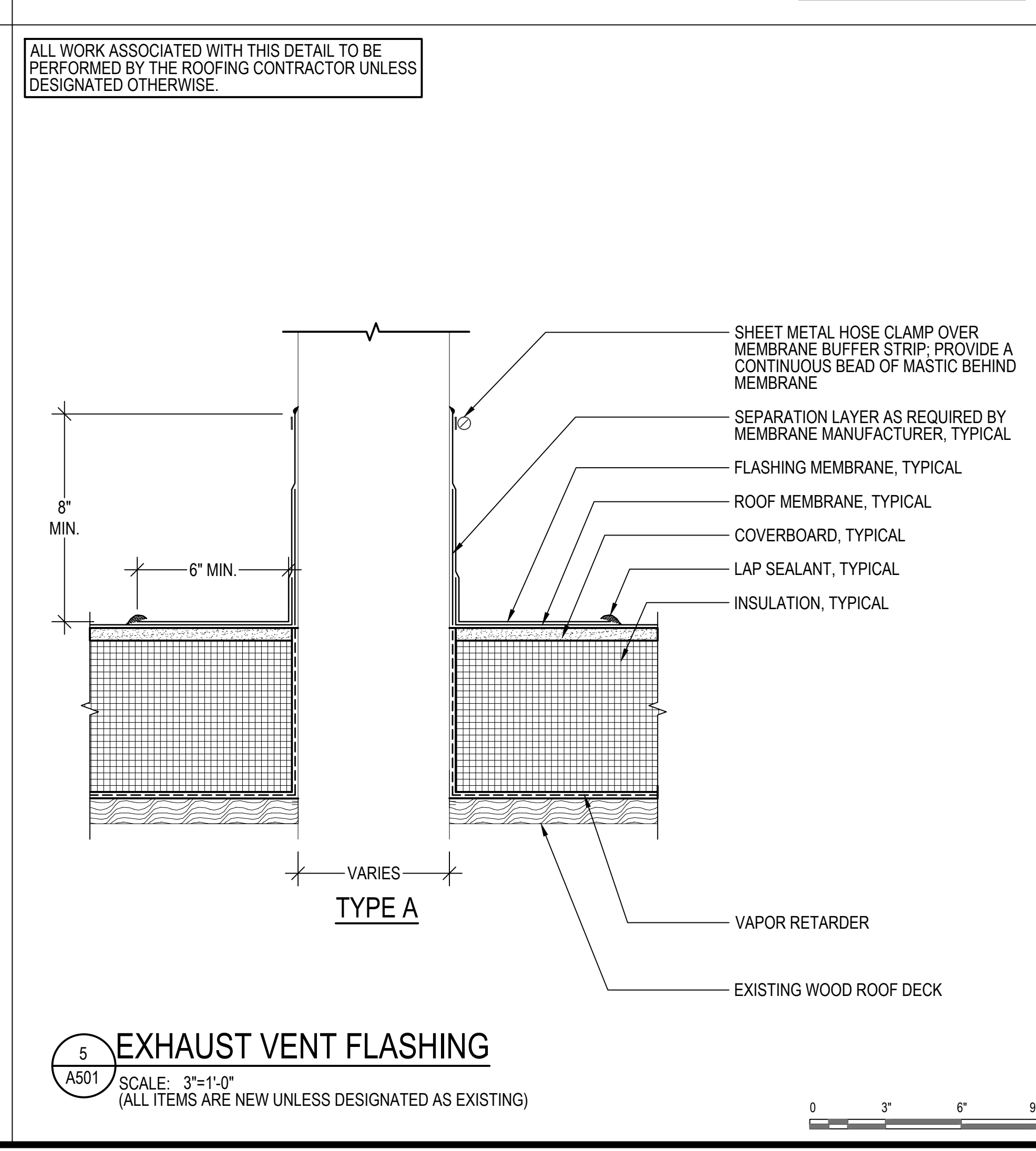
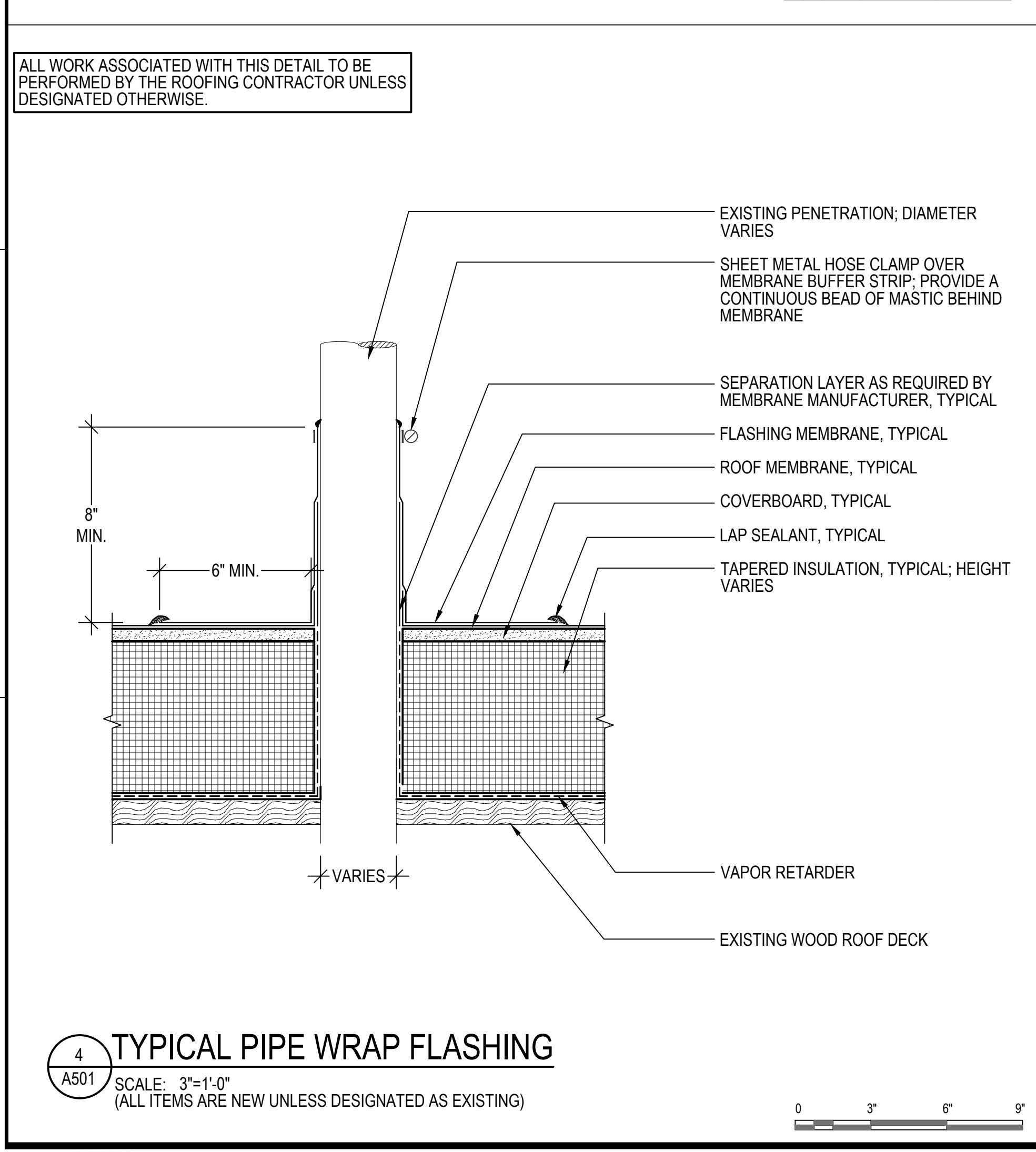
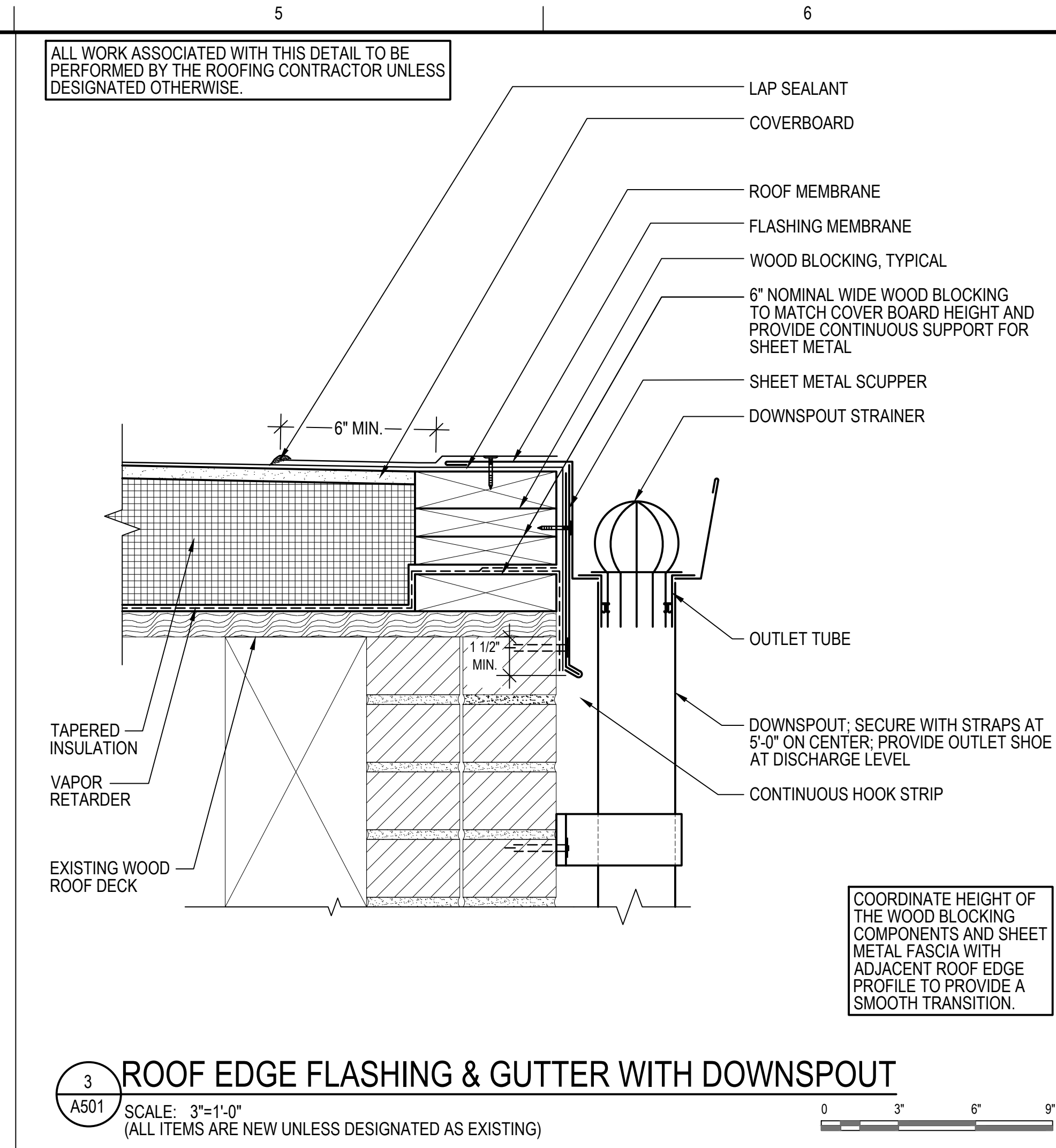
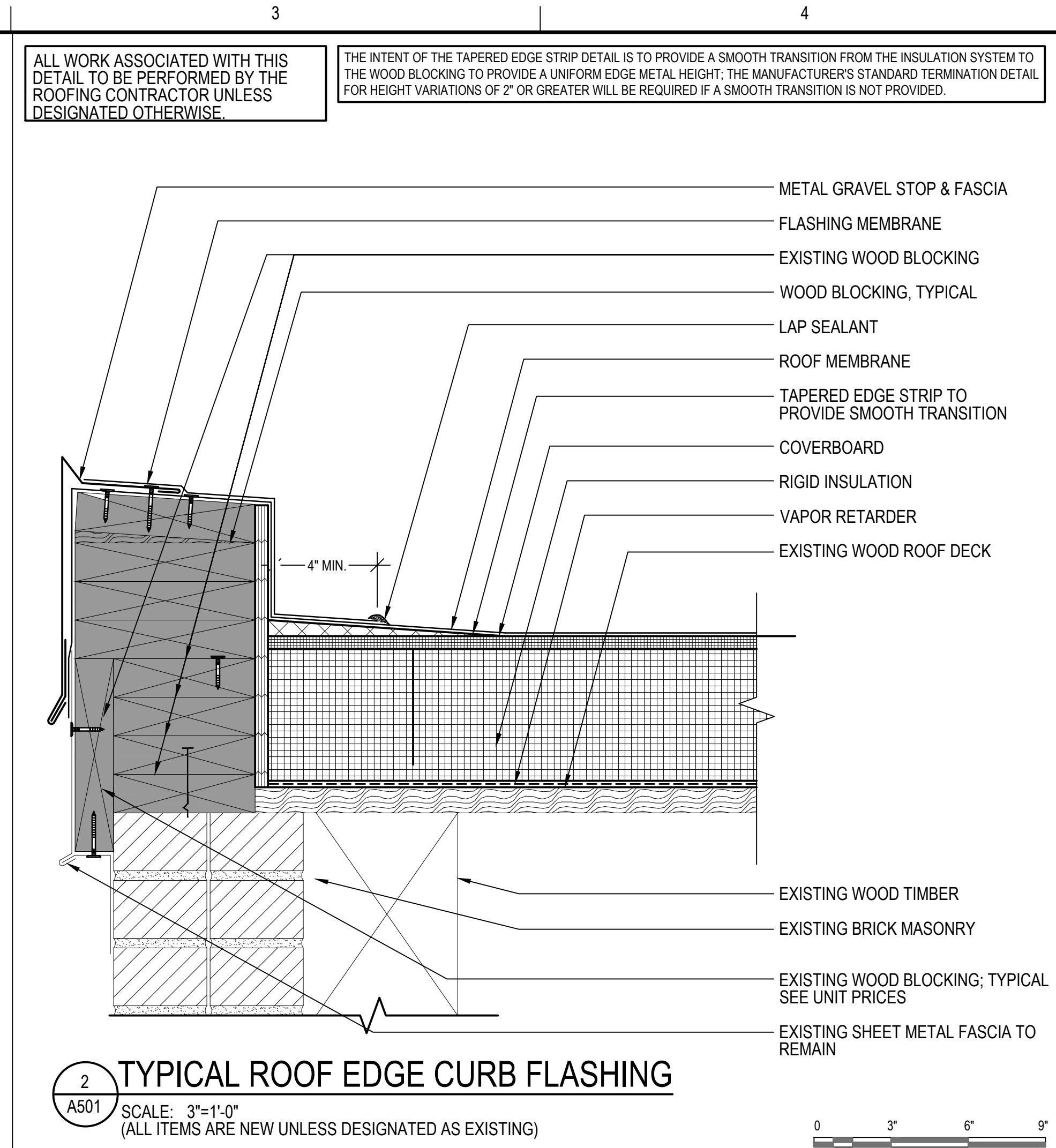
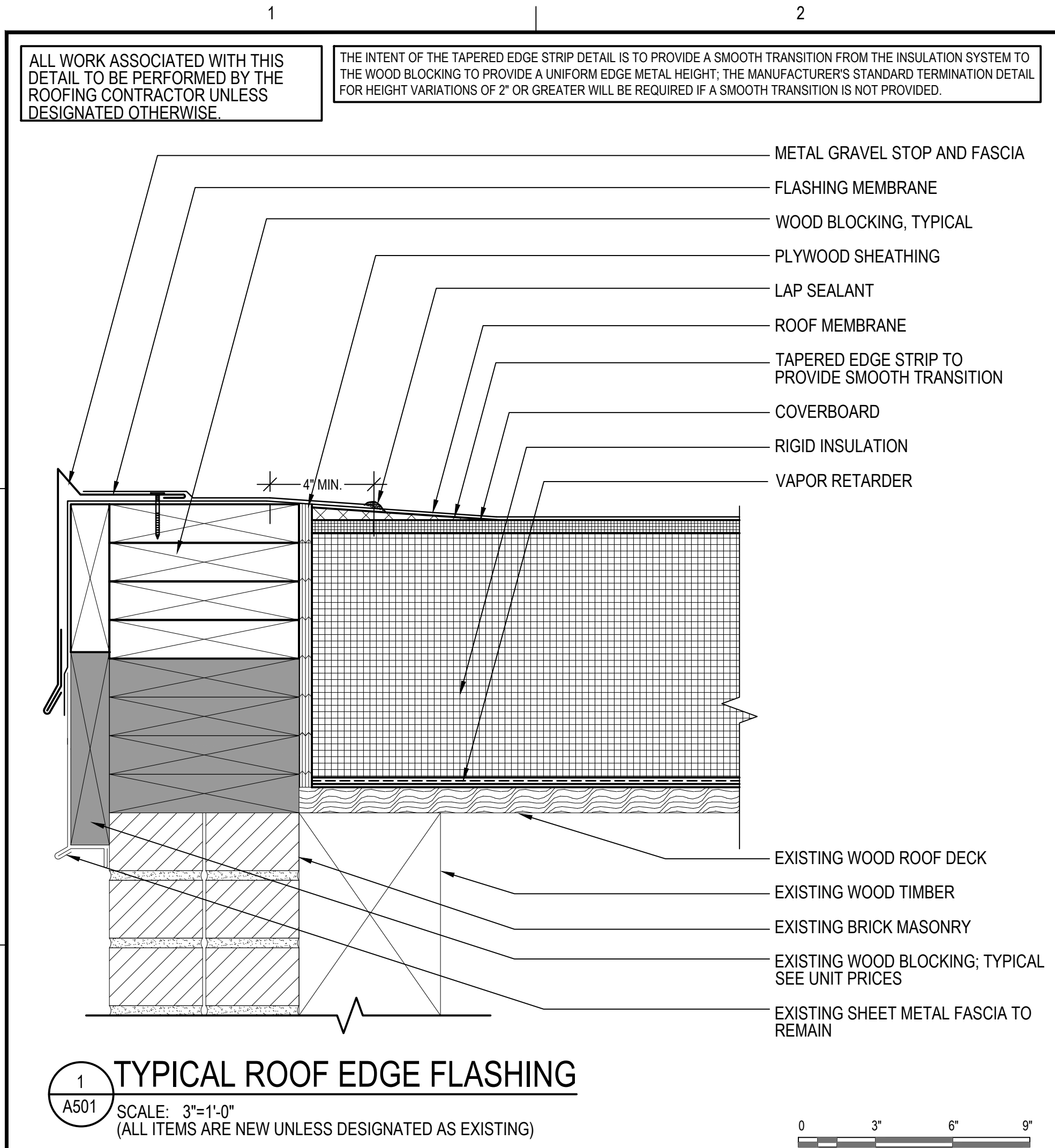
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SHEET TITLE

WINDOW AND DOOR DETAILS

DRAWING NO.

A401



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UNIVERSITY OF MAINE SYSTEM BY AND THROUGH UNIVERSITY OF MAINE
24 UNIVERSITY WAY
GORHAM, ME 04038

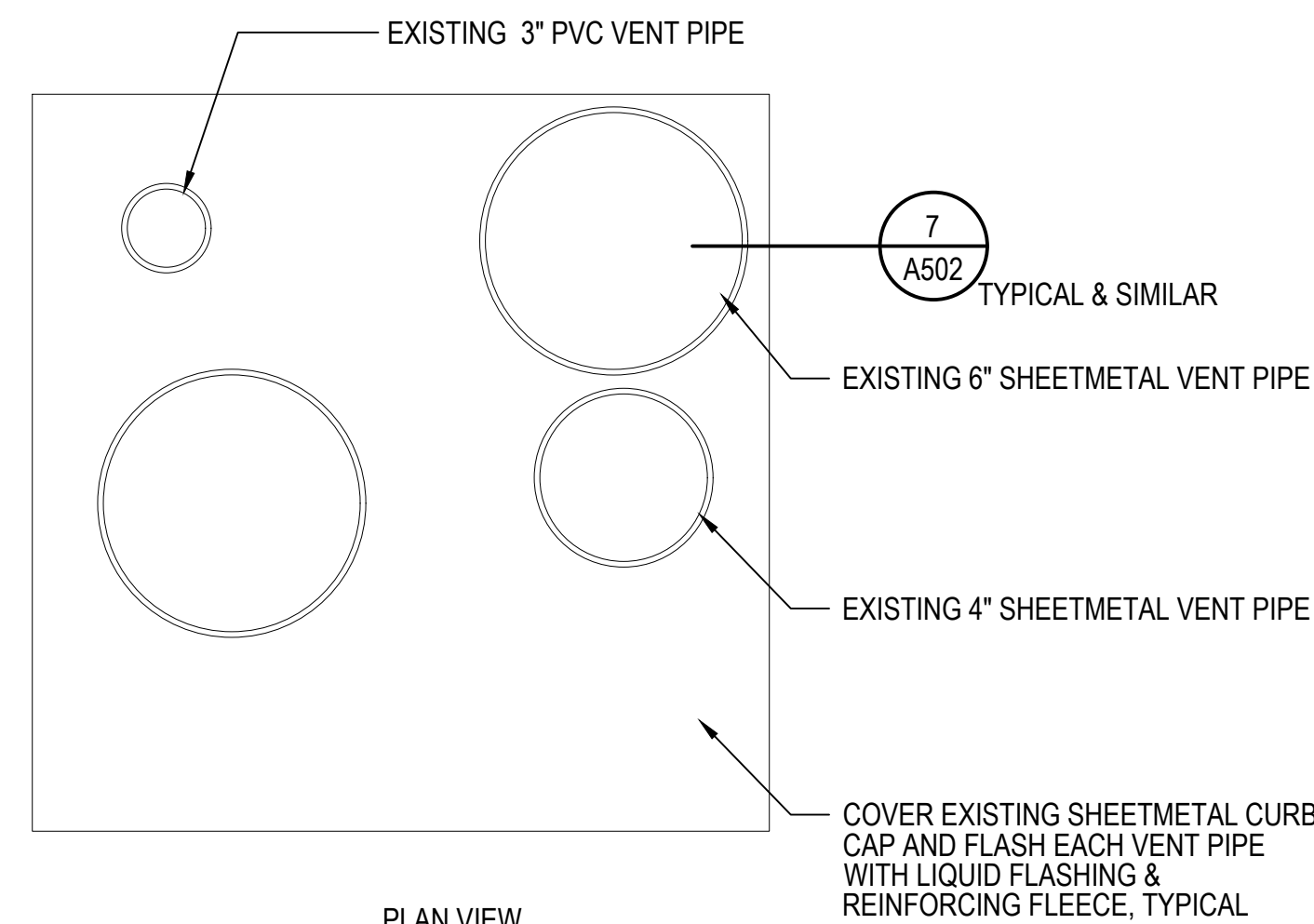
NO.	DATE	DESCRIPTION	BY
PROJECT NO.	842520		
CADD FILE	842520 A500s		
DESIGNED BY	ALS		
DRAWN BY			
CHECKED BY	ALS / BHN		
DATE	02/20/2025		
DRAWING SCALE	3"=1'-0"		

GRAPHIC SCALE
0 3' 6' 9'

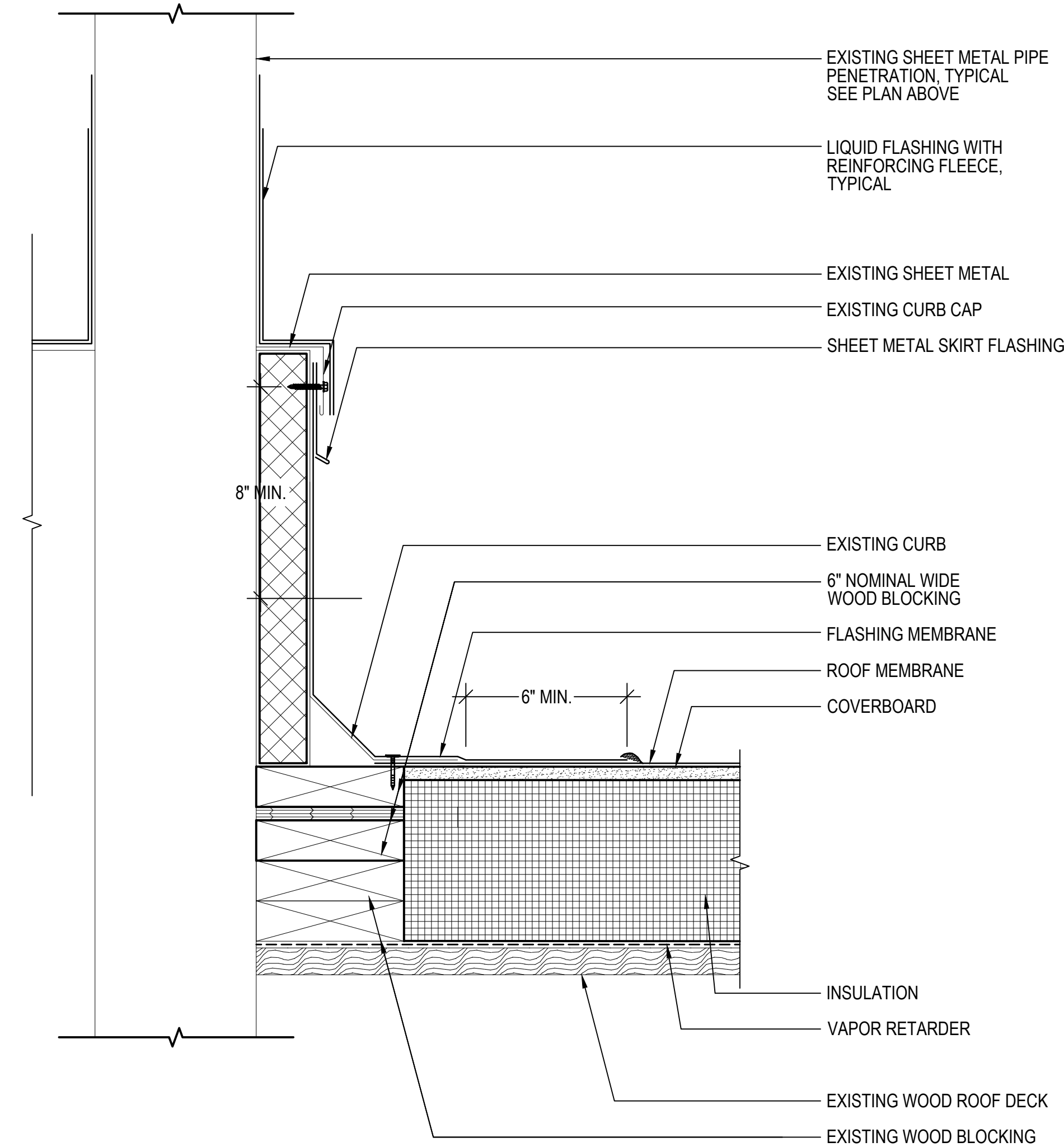
SHEET TITLE
DETAILS

DRAWING NO.
A501

ALL WORK ASSOCIATED WITH THIS DETAIL TO BE PERFORMED BY THE ROOFING CONTRACTOR UNLESS DESIGNATED OTHERWISE.

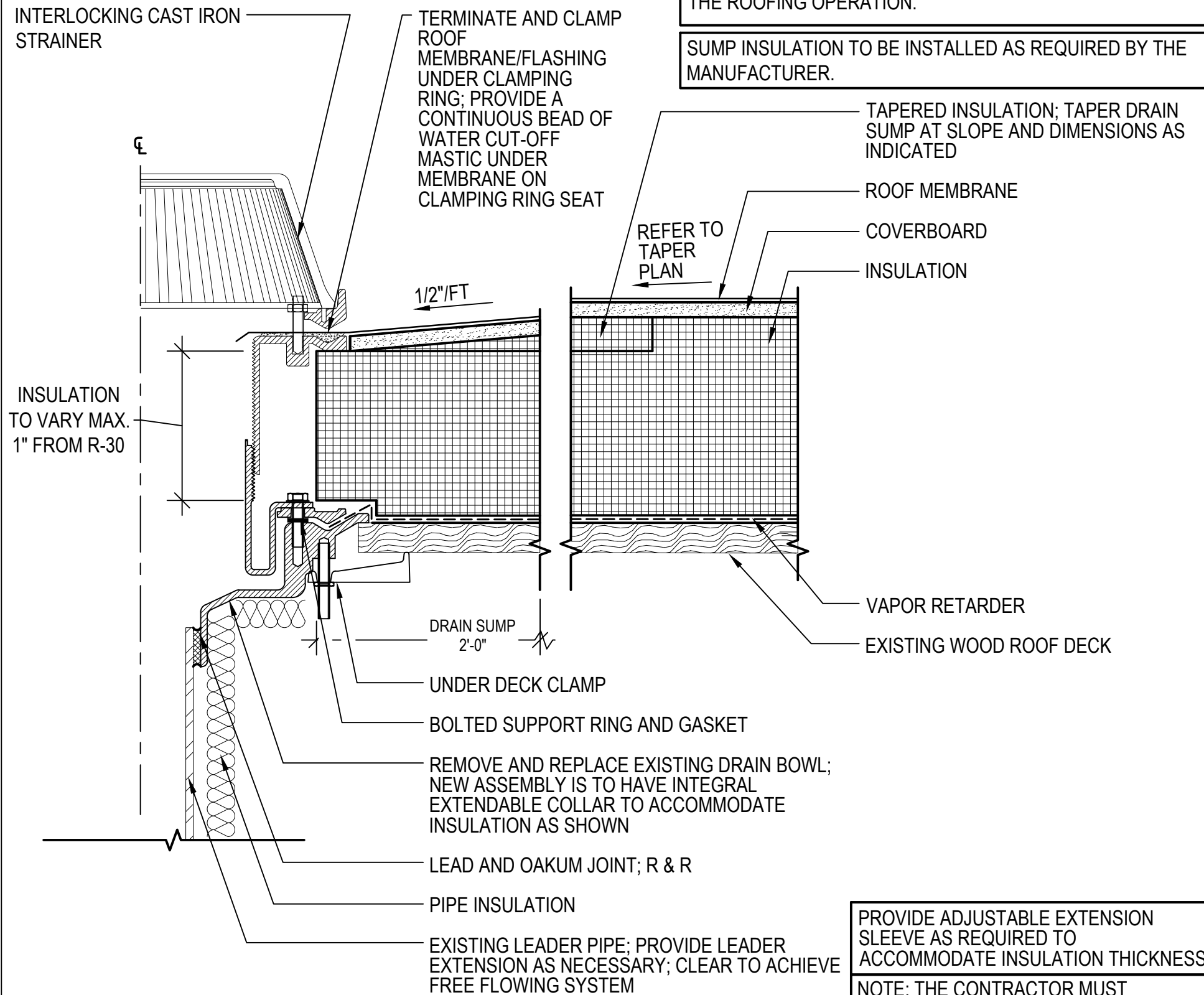


PLAN VIEW
NOT TO SCALE



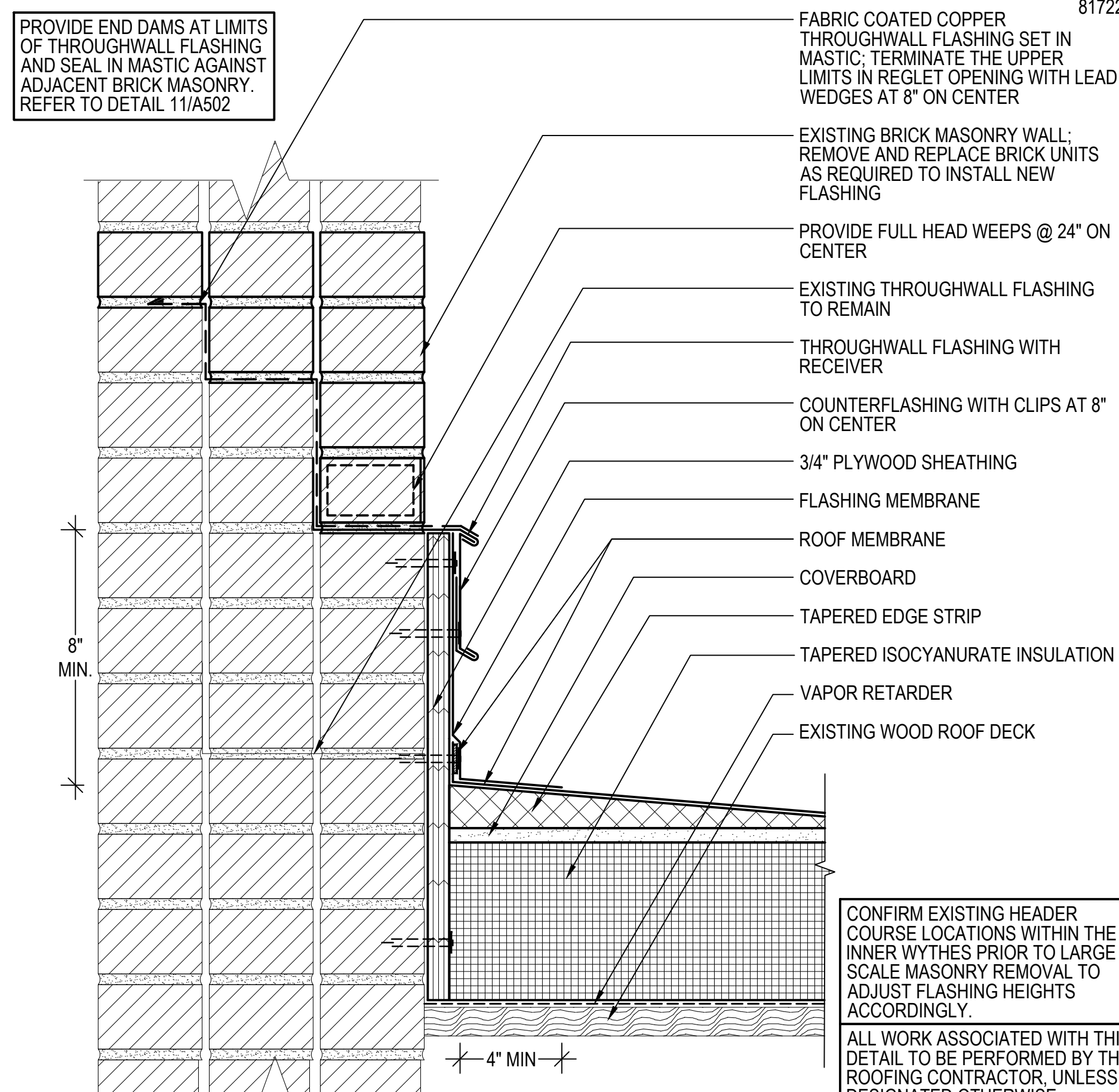
7 MULTIPLE VENT PIPE CURB FLASHING

SCALE: 3"=1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



8 ROOF DRAIN - LEAD AND OAKUM

SCALE: 3"=1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

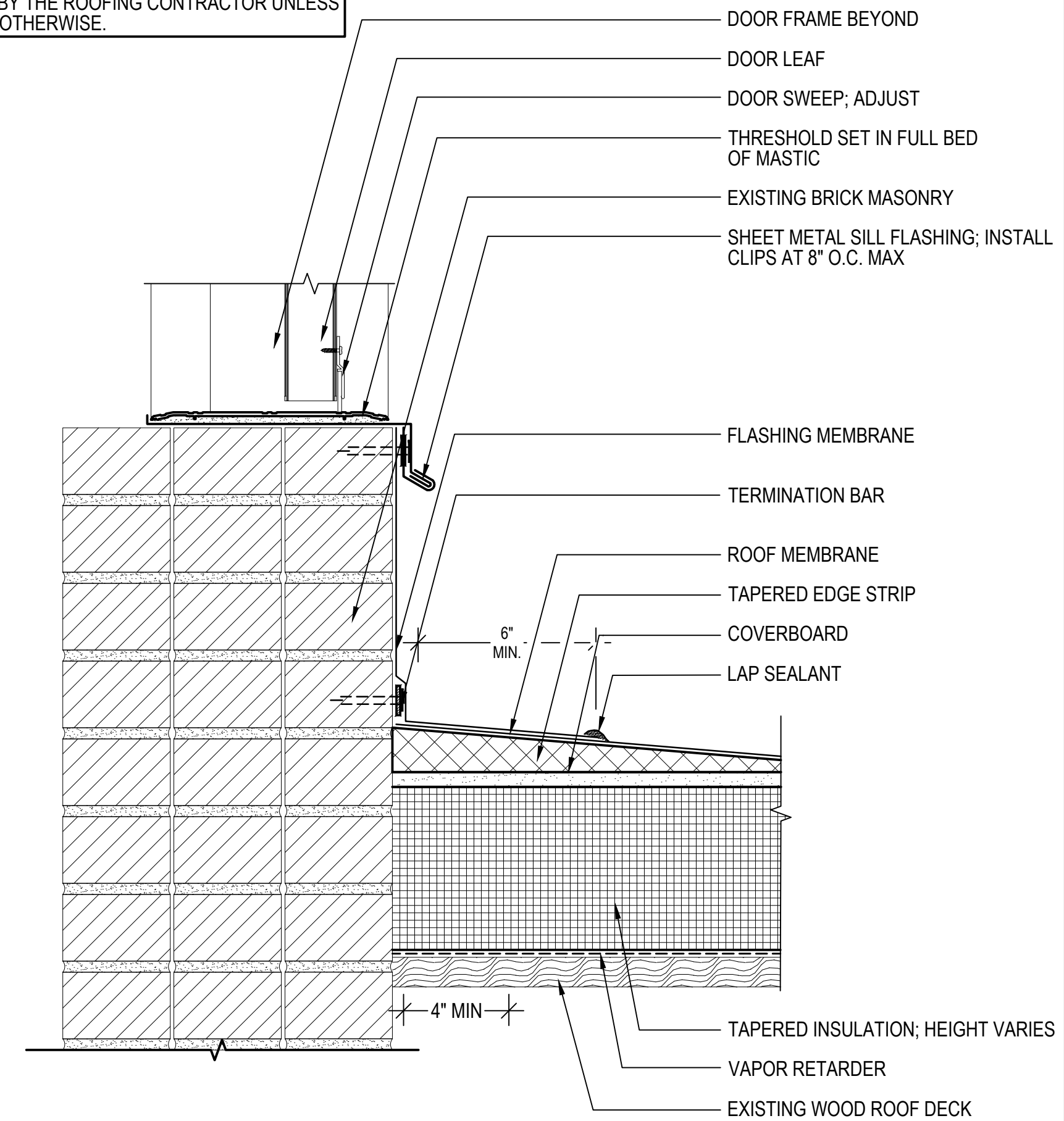


10 TYPICAL THROUGH WALL FLASHING AT MASS MASONRY WALL

SCALE: 3"=1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

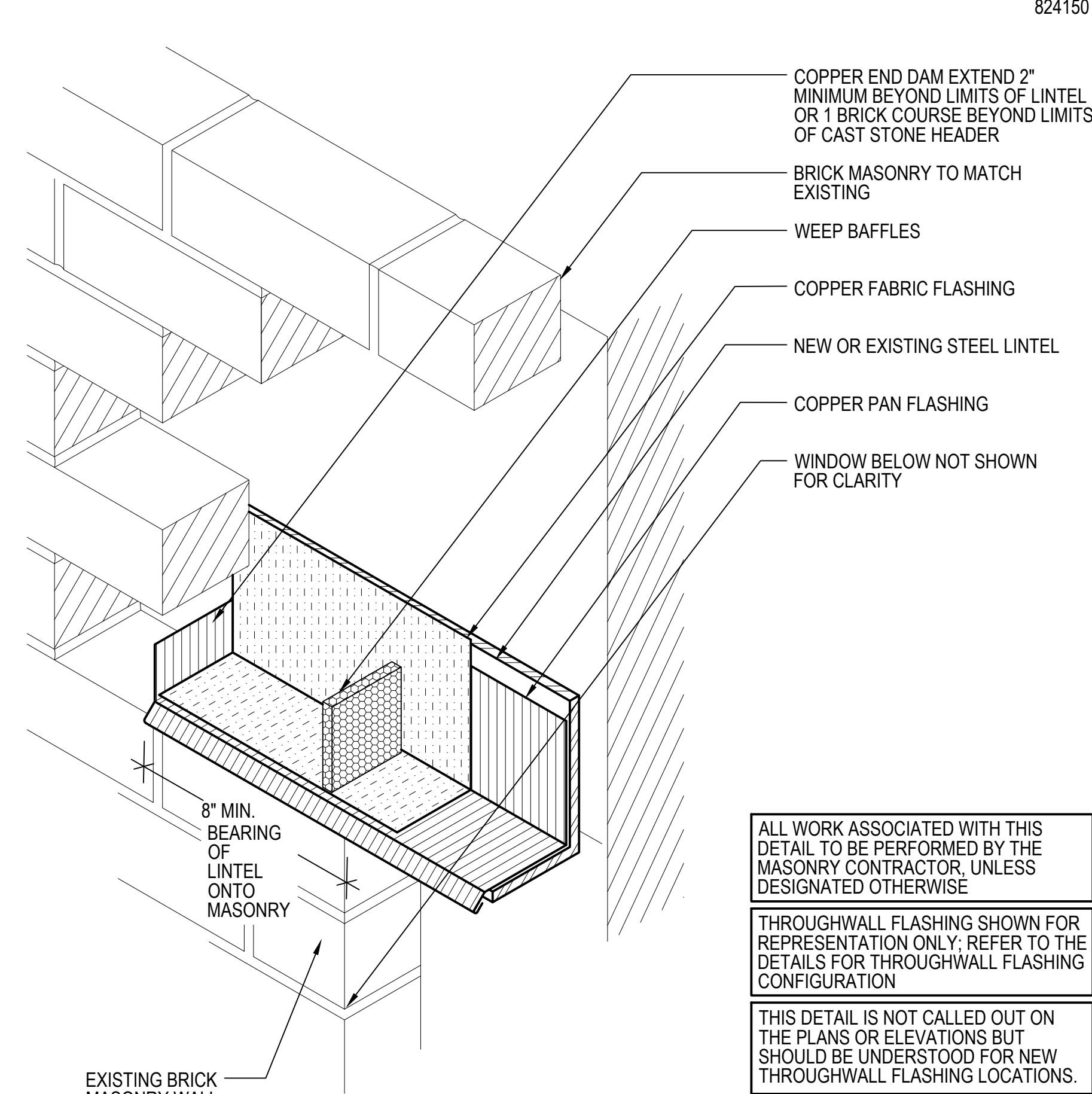


ALL WORK ASSOCIATED WITH THIS DETAIL TO BE PERFORMED BY THE ROOFING CONTRACTOR UNLESS DESIGNATED OTHERWISE.



9 TYPICAL DOOR THRESHOLD

SCALE: 3"=1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



11 ISOMETRIC OF THROUGHWALL FLASHING END DAM

SCALE: 3"=1'-0"
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)



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OWNER
UNIVERSITY OF MAINE SYSTEM BY AND THROUGH UNIVERSITY OF MAINE
24 UNIVERSITY WAY
GORHAM, ME 04038

NO.	DATE	DESCRIPTION	BY
PROJECT NO.		842520	
CADD FILE		842520 A500s	
DESIGNED BY		ALS	
DRAWN BY		DAC	
CHECKED BY		ALS / BHN	
DATE		02/20/2025	
DRAWING SCALE		1/8"=1'-0"	

GRAPHIC SCALE



SHEET TITLE

DETAILS

DRAWING NO.

A502



FOR STONE ANCHORING, REFER TO DETAIL 5/A505.



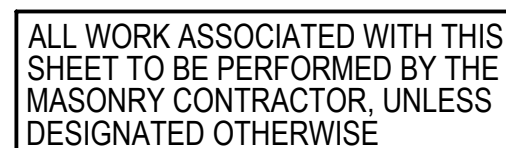
FOR STONE ANCHORING, REFER TO DETAIL 5/A505.



FOR STONE ANCHORING, REFER TO DETAIL 5/A505.



FOR STONE ANCHORING, REFER TO DETAIL 5/A505.



1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE DESIGN DRAWINGS AND PROJECT SPECIFICATIONS.
2. THE CONTRACTOR IS TO PROVIDE MEANS AND METHODS TO SAFELY REMOVE THE CAST STONE PANELS AS SPECIFIED WITHIN THE DESIGN DOCUMENTS. SHORING, STAGING AND PROTECTION OF THE EXISTING STRUCTURE, WINDOWS AND OVERHEAD SIDEWALK MEASURES WILL BE REQUIRED. DURING THE REMOVAL PROCEDURE, THE CONTRACTOR SHALL USE PROPER TOOLS AND EQUIPMENT TO MINIMIZE DAMAGE TO ADJACENT STONES. DAMAGE TO ADJACENT STONES CAUSED BY REMOVAL OF THE STONES SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL REUSE THE REMOVED CAST STONE PANELS TO THE EXTENT POSSIBLE.
3. SAMPLES AND MOCK-UP: THE CONTRACTOR IS TO SUBMIT THREE (3) DIFFERENT SAMPLES, 10" X 12" FOR APPROVAL BY THE OWNER AND ENGINEER. THE SAMPLES SHALL BE TYPICAL OF THE GRADE, COLOR AND FINISH AS SPECIFIED. THE SAMPLE AGREED UPON SHALL PROVIDE THE BASIS OF THE CONTRACT AGREEMENT. FOR REFERENCE OF THE EXISTING STONE COLOR AND TEXTURE THE CONTRACTOR SHALL CLEAN EXISTING, STAINED SAMPLE STONE WITH LAUNDRY DETERGENT AND WATER AND A FIBER-BRISTLE BRUSH AND COMPARE THE CLEANED STONE WITH SAMPLES SUBMITTED FOR REPLACEMENTS.
4. PRIOR TO REMOVING CAST STONE PANELS, A FULL MEASURE-UP OF THE EXISTING PANELS WILL BE REQUIRED. THE CONTRACTOR IS TO PROVIDE AN EQUALLY SIZED, COLOR AND TEXTURE, STONE PANEL WHICH IS THEN TO BE INSTALLED AS SPECIFIED WITHIN THE DESIGN DOCUMENTS. ALL REMOVED STONE PANELS SHALL BE ACCURATELY CUT TO SHAPE AND DIMENSIONS AND FULL TO THE SQUARE, WITH JOINTING AS SHOWN ON APPROVED DRAWINGS. ALL EXPOSED FACES SHALL BE DRESSED TRUE AND BEDS AND JOINTS SHALL BE AT RIGHT ANGLES TO THE FACE, AND JOINTS SHALL MATCH THE UNIFORM THICKNESS UNLESS OTHERWISE SHOWN OR NOTED ON DRAWINGS.
5. UPON REMOVAL OF THE CAST STONE PANELS, THE CONTRACTOR SHALL REVIEW THE CONDITION OF THE SUBSTRATE WITHIN THE BACK-UP WALL AS WELL AS THE EXPOSED STEEL FRAMING.
 - 5.1. IF HEAVILY CORRODED OR QUESTIONABLE MASONRY SUBSTRATE IS NOTED, CONTRACTOR IS TO NOTIFY ENGINEER OF RECORD FOR FURTHER REVIEW AND DESIGN RECOMMENDATIONS. UNDER NO CIRCUMSTANCE IS THE CONTRACTOR TO PERFORM REPLACEMENT WORK ON SUBSTRATE THAT APPEARS UNSUITABLE FOR THE SPECIFIED REPAIRS.
 - 5.2. IF SUBSTRATE IS FOUND IN GOOD CONDITION CONTRACTOR IS TO REMOVE ALL LOOSE AND BOND INHIBITING ITEMS WITHIN THE BACK-UP WALL AND REBUILD THE EXISTING MATERIAL AS REQUIRED. INFILL CAVITIES WITH SPECIFIED REPAIR MORTAR.
 - 5.3. THE CONTRACTOR IS THEN TO CLEAN AND COAT THE EXISTING STEEL FRAMING ALONG ALL EXPOSED STEEL SURFACES. IF THE EXPOSED RELIEFING ANGLE INDICATES HEAVY CORROSION, A LONGER HORIZONTAL LEG IS REQUIRED. CONTRACTOR IS TO REMOVE THE CAST STONE PIECE ABOVE TO THE EXTEND REQUIRED IN ORDER TO PROVIDE THE SPECIFIED STEEL CLEANING, STRENGTHENING AND COATING ALONG THE STEEL ANGLE. ON A UNIT PRICE BASIS, PLEASE NOTE THAT THE STONE REMOVAL ALONG THE WINDOW SILL MAY REQUIRE ADDITIONAL SHORING OF THE CAST STONE PANELS AS WELL AS TEMPORARY REMOVAL AND RE-INSTALLATION OF THE WINDOW UNIT.
- 5.3.1. IF THE SECTION LOSS OF THE EXISTING STEEL IS FOUND TO BE GREATER THAN 1/8" THE ANGLE SHALL BE REPLACED OR STRENGTHENED AS SPECIFIED WITHIN THE DESIGN DETAILS, ON A UNIT PRICE BASIS. PLEASE NOTE THAT THE STONE REMOVAL ALONG THE WINDOW SILL MAY REQUIRE ADDITIONAL SHORING OF THE LIMESTONE PANELS AS WELL AS TEMPORARY REMOVAL AND RE-INSTALLATION OF THE WINDOW UNIT.
6. HOLES SHALL BE CUT IN STONES FOR ALL ANCHORS, CRAMPS, DOWELS AND OTHER TIE-BACK AND SUPPORT DEVICES PER INDUSTRY STANDARD PRACTICE AND/OR APPROVED SHOP DRAWINGS. ALL REQUIRED EXPANSION ANCHOR HOLES SHALL BE DRILLED AT JOBSITE BY MASON OR ERECTOR TO FACILITATE ALIGNMENT. NO HOLES OR SINKAGES WILL BE PROVIDED FOR CONTRACTOR'S HANDLING DEVICES UNLESS ARRANGEMENT FOR THIS SERVICE IS MADE BY THE CONTRACTOR WITH THE STONE SUPPLIER. PROVIDE THE SPECIFIED PINS, ANCHORS AND TIE-BACK DEVICES. PROVIDE ALL TIE-SPACING AND CLEARANCES REQUIREMENTS AS INDICATED IN THE DETAILS AND AS RECOMMENDED BY INDUSTRY STANDARDS.
7. SURROUNDING STONES AND BUILDING COMPONENTS INDICATED TO REMAIN SHALL BE PHOTOGRAPHED PRIOR TO INITIATING WORK. EXISTING DAMAGED STONES NOT SHOWN ON THE CONTRACT DRAWINGS SHALL BE DOCUMENTED AND REPORTED TO THE ENGINEER. ADDITIONAL STONE REPAIRS WILL BE PERFORMED ON A UNIT PRICE BASIS.

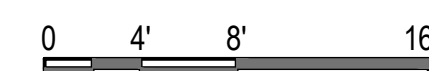
A505 SCALE: NOT TO SCALE

PROJECT

OWNER
UNIVERSITY OF MAINE SYSTEM BY AND THROUGH UNIVERSITY OF MAINE
24 UNIVERSITY WAY
GORHAM, ME 04038

NO.	DATE	DESCRIPTION	BY
PROJECT NO.		842520	
CADD FILE		842520 A500s	
DESIGNED BY		ALS	
DRAWN BY		DAC	
CHECKED BY		ALS / BHN	
DATE		02/20/2025	
DRAWING SCALE		3"=1'-0"	

GRAPHIC SCALE



SHEET TITLE

CAST STONE DETAILS

DRAWING NO.

A505



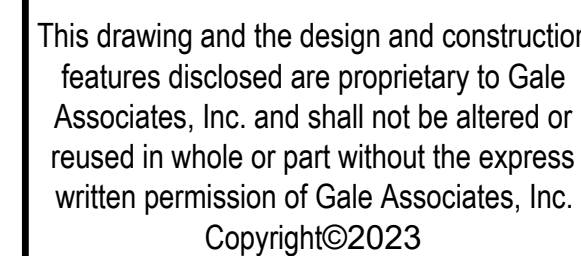
CROSS SECTION

FOR STONE ANCHORING, REFER TO DETAIL 4/A506



SPACE
INTENTIONALLY
LEFT BLANK

SPACE
INTENTIONALLY
LEFT BLANK



BID DOCUMENTS

PROJECT	BUILDING ENVELOPE UPGRADES AT RUSSELL HALL, UNIVERSITY OF SOUTHERN ME 24 UNIVERSITY WAY, GORHAM, ME 04038
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OWNER
UNIVERSITY OF MAINE SYSTEM BY AND THROUGH UNIVERSITY OF MAINE
24 UNIVERSITY WAY
GORHAM, ME 04038

NO.	DATE	DESCRIPTION	BY
PROJECT NO.		842520	
CADD FILE		842520 A500s	
DESIGNED BY		ALS	
DRAWN BY		DAC	
CHECKED BY		ALS / BHN	
DATE		02/20/2025	
DRAWING SCALE		3"=1'-0"	

GRAPHIC SCALE



SHEET TITLE

CAST STONE DETAILS

DRAWING NO.

A506

1

2

E

D

C

B

A

1

A507

TYPICAL CAST STONE QUOIN REPLACEMENTS AT PENTHOUSE

SCALE: NOT TO SCALE

3

4

2

A507

CAST STONE ANGLED QUOIN REPLACEMENT

SCALE: NOT TO SCALE

5

6

3

A507

CAST STONE TRIM REPLACEMENT

SCALE: NOT TO SCALE

1

2

4

A507

CAST STONE WINDOW MULLION SECTION REPLACEMENT

SCALE: NOT TO SCALE

3

4

5

A507

CAST STONE WINDOW MULLION SECTION REPLACEMENT

SCALE: NOT TO SCALE

5

6

6

A507

CAST STONE WINDOW MULLION SECTION REPLACEMENT

SCALE: NOT TO SCALE

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PROJECT NO.	842520		
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DATE	02/20/2025		
DRAWING SCALE	3"=1'-0"		

GRAPHIC SCALE
0 4' 8' 16'

TYPICAL CAST STONE CONDITION PHOTOS

DRAWING NO.

A507