BUILDING ENVELOPE UPGRADES AT

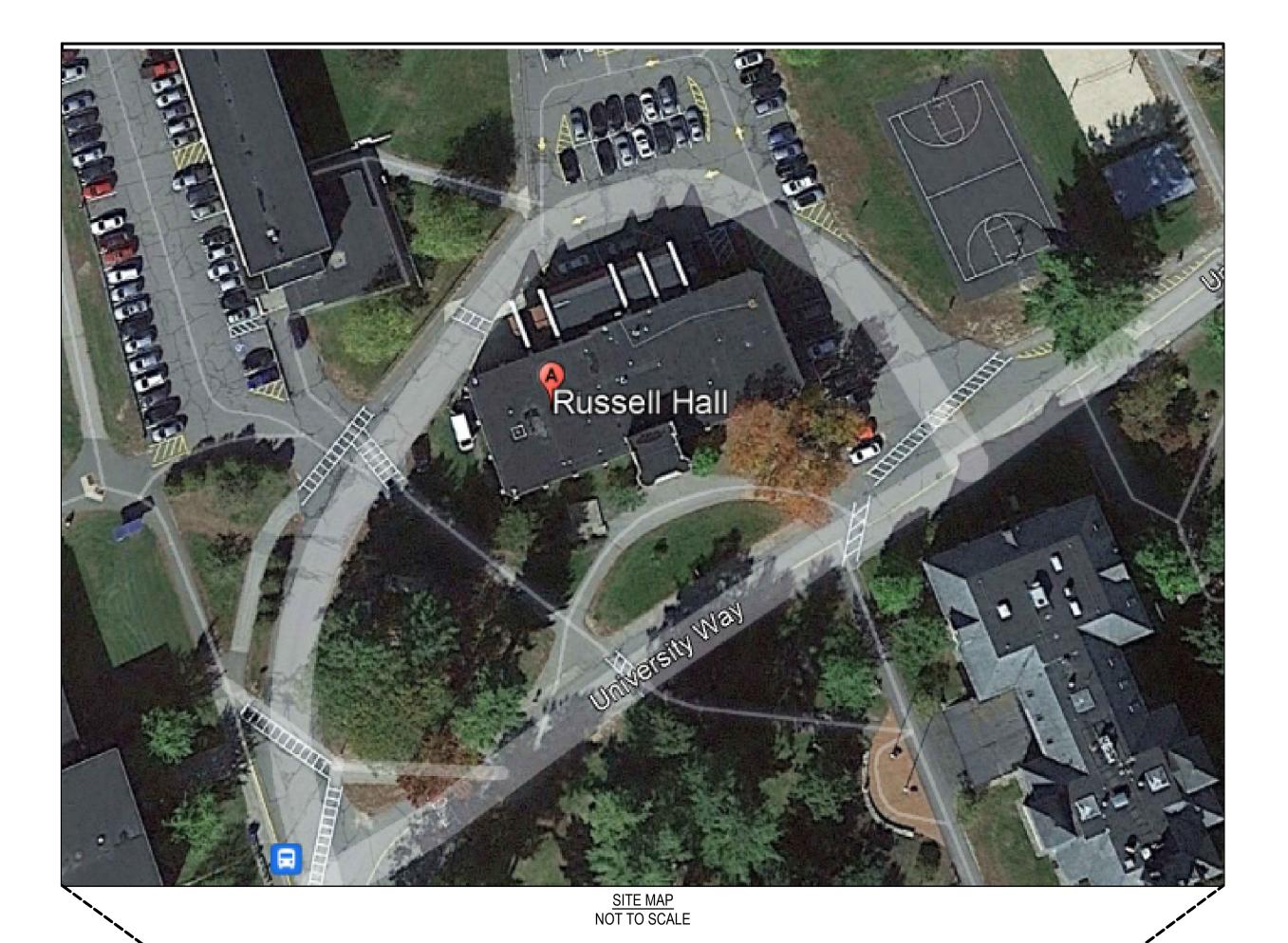
RUSSELL HALL UNIVERSITY OF SOUTHERN MAINE

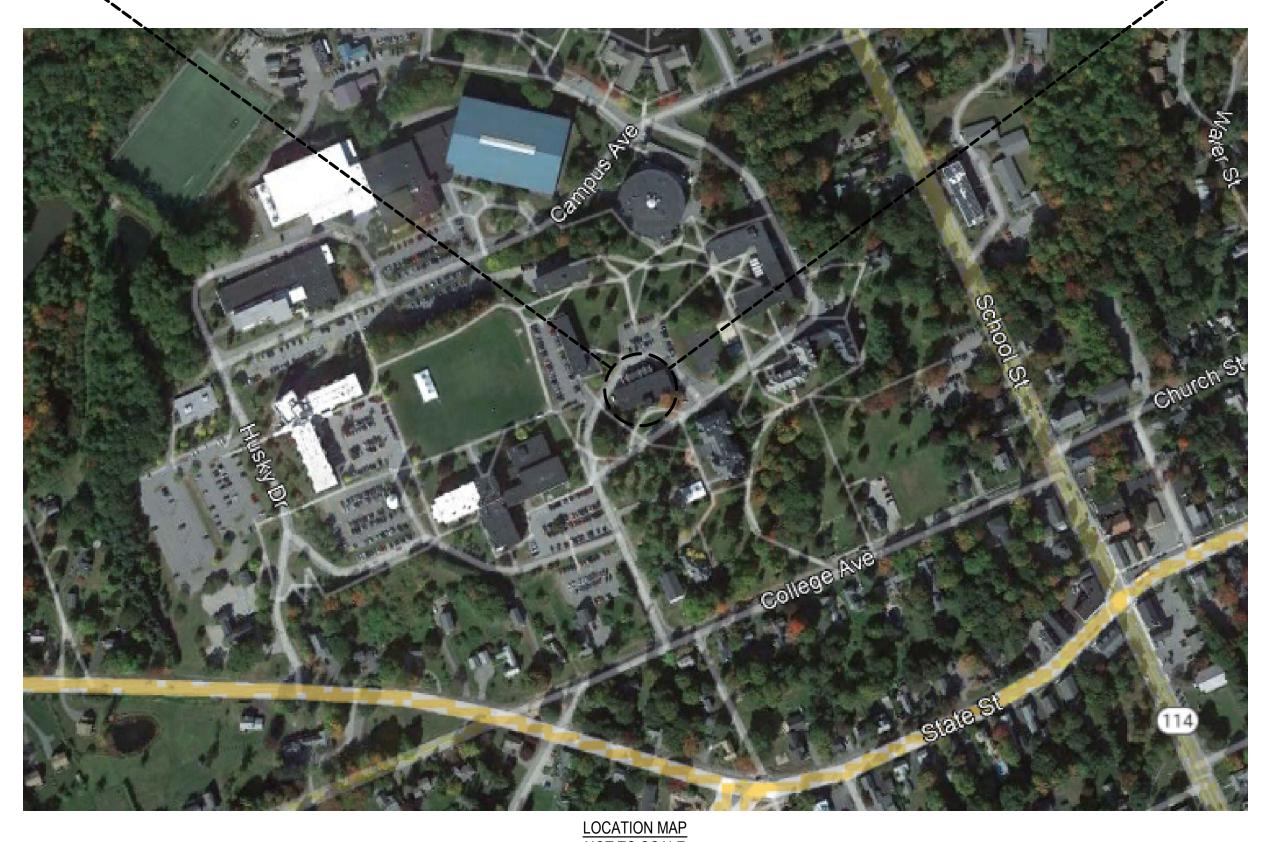
24 UNIVERSITY WAY GORHAM, MAINE 04038

PREPARED FOR

UNIVERSITY OF SOUTHERN MAINE 30 UNIVERSITY WAY GORHAM, MAINE 04038

DRAWING NO	<u>TITLE</u>
G100 G101 G102 A101 A201 A202 A203 A204	COVER SHEET SITE PLAN ATTACHMENT LAYOUT PLAN AND EXISTING/ NEW CROSS SECTIONS OVERALL ROOF AREA PLAN ELEVATIONS ELEVATIONS ELEVATIONS ELEVATIONS ELEVATIONS
A205 A401 A501 A502 A503 A504 A505 A506 A507	ELEVATIONS WINDOW AND DOOR DETAILS DETAILS DETAILS DETAILS CAST STONE DETAILS CAST STONE DETAILS TYPICAL CAST STONE CONDITION PHOTOS





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BUILDING ENVELOPE UPGRADES AT
JSSELL HALL, UNIVERSITY OF SOUTHERN MI
24 UNIVERSITY WAY, GORHAM, ME 04038

Ю.	DATE	D	ESCRIPTION	BY
PROJECT NO.			842520	
CADD FILE		842520 G100		
DESIGNED BY			ALS	
DRAWN BY			MRS / DAC	
CHECKED BY		ALS / BHN		
DATE		02/20/2025		
DRAWING SCALE		NOT TO SCAL	.E	

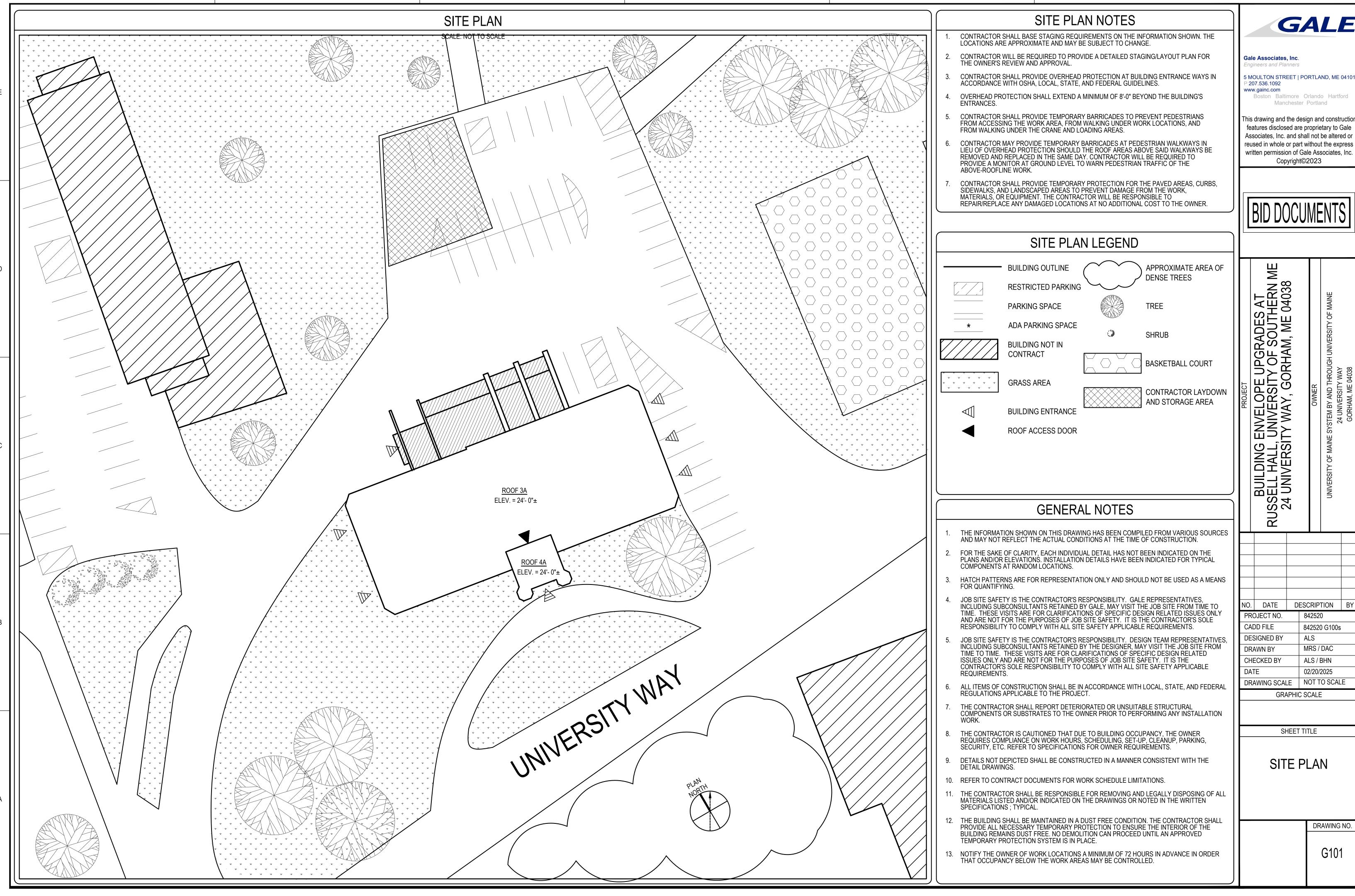
SHEET TITLE

GRAPHIC SCALE

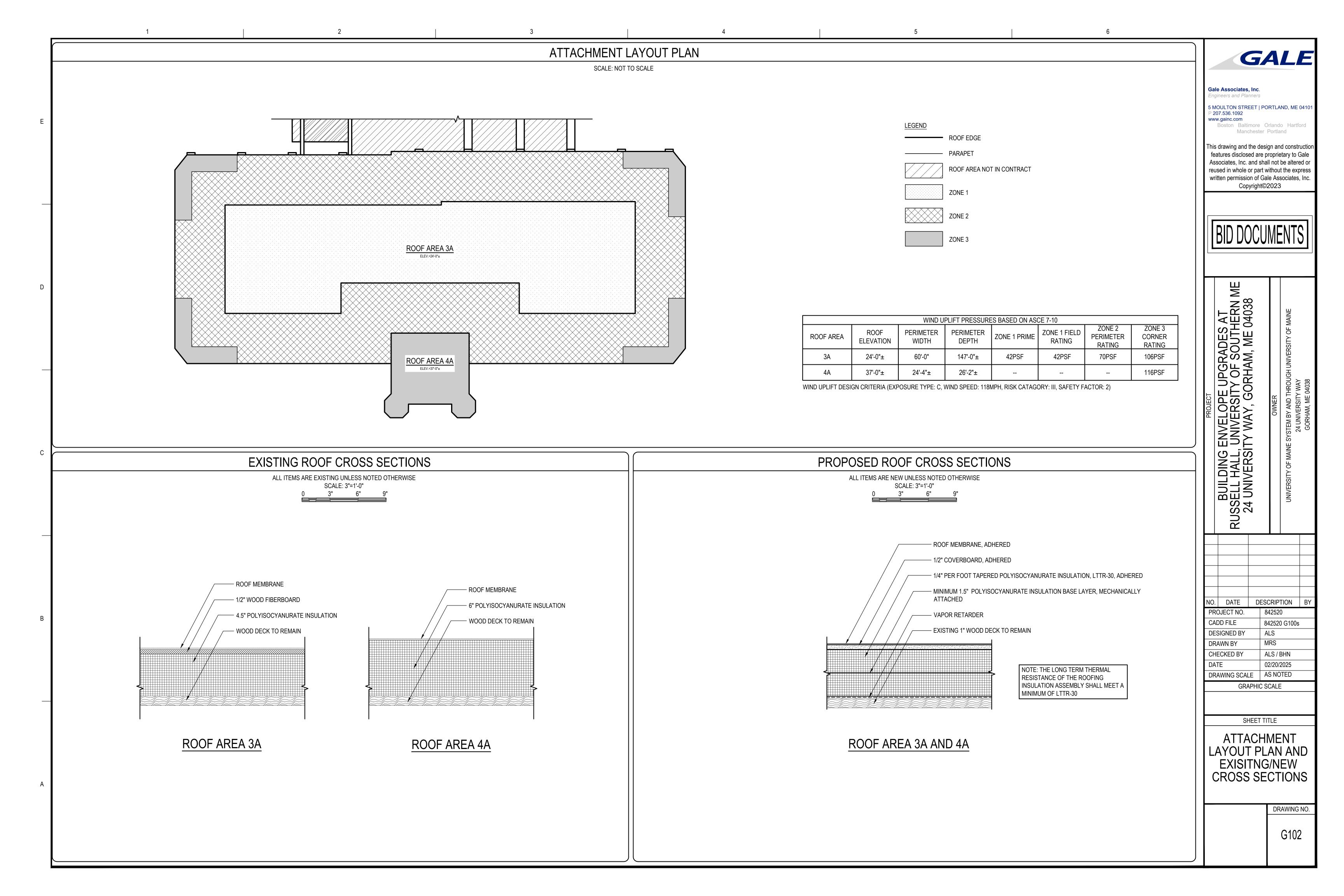
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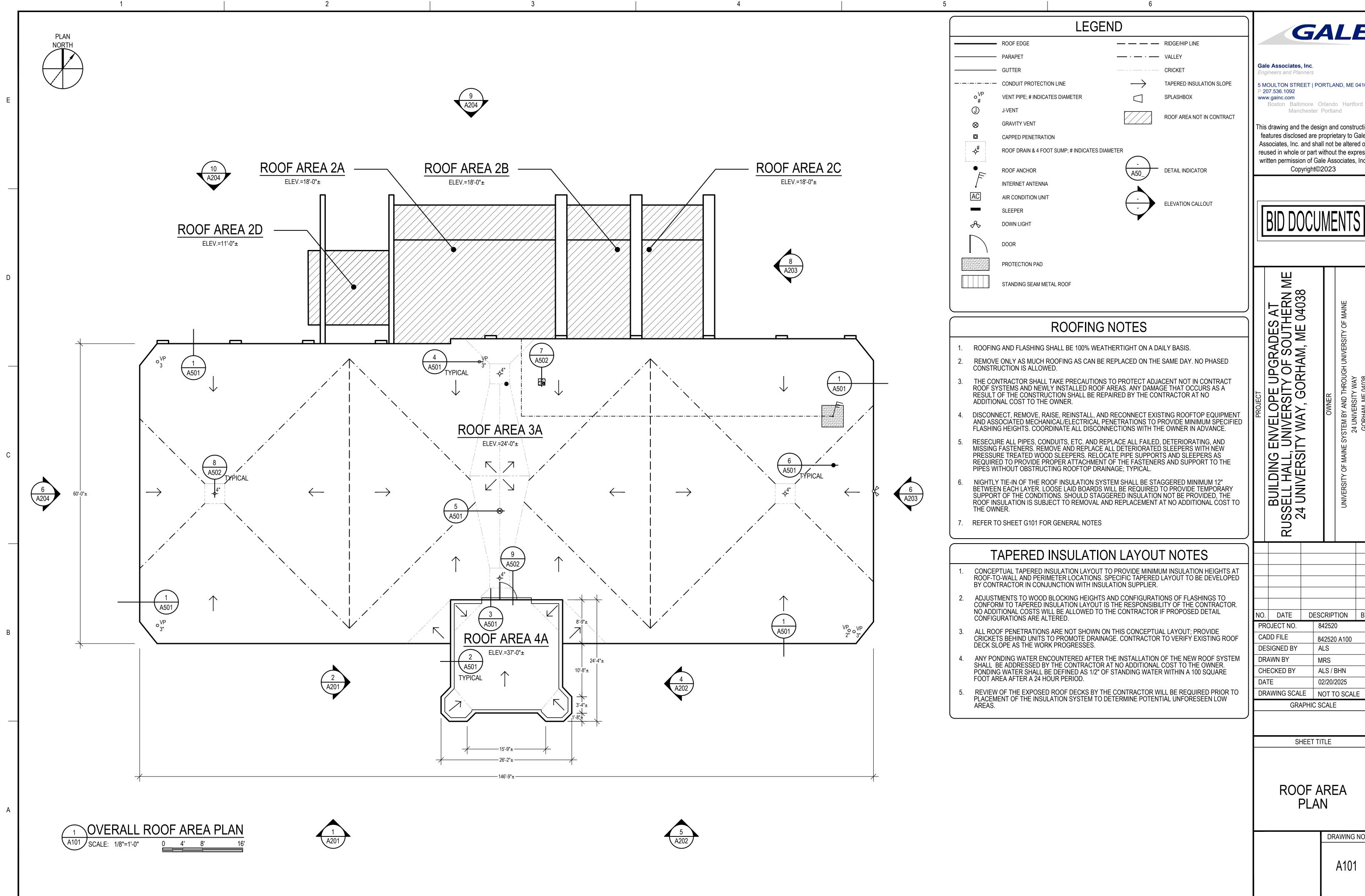
DRAWING NO.

G100



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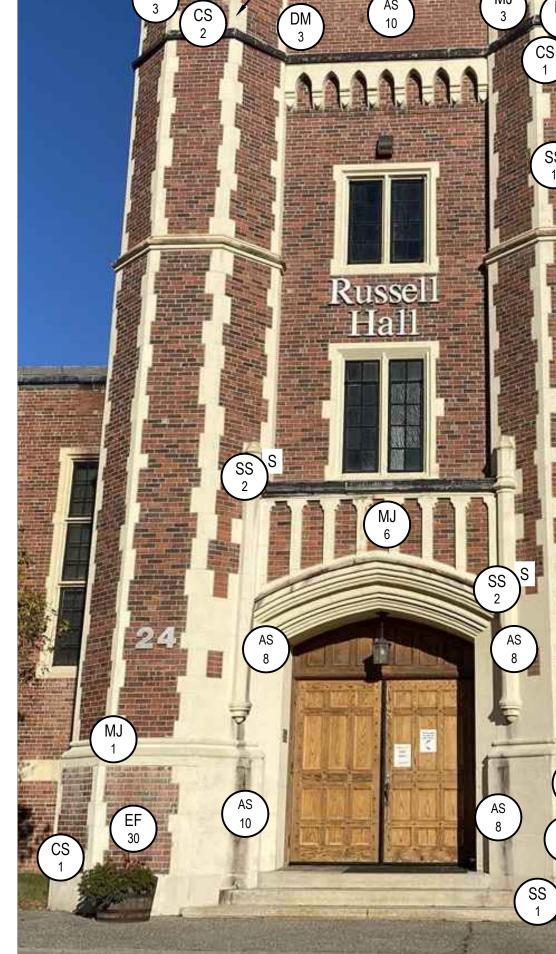
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DESCRIPTION

842520 A100

\PARTIAL SOUTH ELEVATION - ALTERNATE NO. 1

REPLACE CAST STONE ANGLED



QUOIN, REFER TO DETAIL 4/A505 AND 2/A507

\PARTIAL SOUTH ELEVATION



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REPAIR LEGEND

ELEVATION NOTES

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GRAPHIC HATCHING AND SYMBOLS ARE USED ON THE ELEVATION DRAWINGS TO INDICATE AREAS INCLUDED IN THE SCOPE OF WORK. ACTUAL DIMENSIONS AND QUANTITIES SHALL BE

FIELD VERIFIED. REFER TO THE LEGEND ON THIS SHEET FOR THE CORRESPONDING SCOPE OF WORK ASSOCIATED WITH A PARTICULAR HATCH OR SYMBOL.

CONTRACTOR IS RESPONSIBLE FOR DESTROYING AND REMOVING BEES/HORNETS/WASPS NESTS WHICH MAY INFEST WALLS IN VARIOUS LOCATIONS. THESE LOCATIONS HAVE NOT

5. REMOVE RUST, EFFLORESCENCE, AND/OR VEGETATION FROM BRICK MASONRY VENEER AT

MASONRY CB CRACKED BRICK TO BE REPLACED; REFER TO DETAIL 12 ON DRAWING A503 # INDICATES UNITS

10. REFER TO SHEET G101 FOR GENERAL NOTES.

BEEN SHOWN ON THE DOCUMENTS.

DESIGNATED LOCATIONS.

8. CLEAN WORK LOCATIONS 100%.

4. SCRAPE RUST, SCALE, AND DEBRIS FROM EXISTING WINDOW LINTEL.

7. REPOINT BRICK MASONRY 100% IN THE WORK LOCATIONS.

6. REMOVE EXISTING PERIMETER SEALANTS AND BACKER MATERIALS (100%).

9. CLEAN ALL WINDOW/GLAZING UPON COMPLETION OF THE ELEVATION WORK.

SB SPALLED BRICK TO BE REPLACED; REFER TO DETAIL 12 ON DRAWING A503 # INDICATES UNITS

DM DETERIORATED MORTAR JOINT TO BE REPAIRED; REFER TO DETAIL 1 ON DRAWING A504 # INDICATES SQUARE FEET

DETERIORATED BRICK TO CASE STONE MORTAR JOINT TO BE REPAIRED; REFER TO DETAIL 1 ON DRAWING A504 # INDICATES LINEAR FEET

> REPAIRED; REFER TO DETAIL 16 ON DRAWING A503 # INDICATES LINEAR FEET

★ EXISTING ANCHOR/METAL STUB TO BE REMOVED AND PATCHED

STEP CRACK (APPROXIMATE SCALE) TO BE

EFF EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET

VEGETATIVE GROWTH TO BE CLEANED; # INDICATES SQUARE FEET

ATMOSPHERIC STAINING TO BE CLEANED; # INDICATES SQUARE FEET

PREVIOUSLY REPAIRED MORTAR JOINT TO BE REMOVED AND REPAIRED; REFER TO DETAIL 1 ON DRAWING A504 # INDICATES SQUARE FEET

RUST STAINING ON LINTEL TO BE PAINTED; # INDICATES LINEAR FEET

BRICK MASONRY TO BE REBUILT; REFER TO DETAILS 12, 13, 14 AND 15 ON DRAWING A503

CONCRETE/STONE

CRACKED CONCRETE TO BE REPAIRED; REFER TO DETAIL 2 ON DRAWING A504 # INDICATES LINEAR FEET SPALLED CONCRETE TO BE REPAIRED; REFER TO

DETAIL 3 ON DRAWING A504 # INDICATES SQUARE FEET S = SHALLOW SPALL D = DEEP SPALL

CRACKED CAST STONE TO BE REPAIRED; REFER TO DETAIL 6 ON DRAWING A504 # INDICATES LINEAR FEET

DS DELAMINATING CAST STONE TO BE REPAIRED; # REFER TO DETAIL 4 AND 5 ON DRAWING A504
INDICATES SQUARE FEET

S= SHALLOW DELAMINATION

D= DEEP DELAMINATION

SPALLED CAST STONE TO BE REPAIRED; REFER TO DETAIL4 AND 5 ON DRAWING A504

INDICATES SQUARE FEET
S= SHALLOW SPALL D= DEEP SPALL

REPLACE CAST STONE REFER TO DRAWING A505

GLAZING

CRACKED GLAZING TO BE REPLACED; REFER TO DETAIL 5/A401 # INDICATES LINEAR FEET

SEALANTS

FAILED PERIMETER SEALANT TO BE REMOVED
AND REPLACED; REFER TO DETAIL 6/A401
INDICATES LINEAR FEET

FAILED SEALANT TO BE REMOVED AND REPLACED; REFER TO DETAIL 6/A401 # INDICATES LINEAR FEET

KEY PLAN NOT TO SCALE NORTH

BUILDIN JSSELL HA 24 UNIVER NO. DATE DESCRIPTION BY PROJECT NO. 842520 CADD FILE 842520 A200S DESIGNED BY ALS

DRAWN BY CHECKED BY ALS / BHN 02/20/2025 DRAWING SCALE NOT TO SCALE **GRAPHIC SCALE**

SHEET TITLE

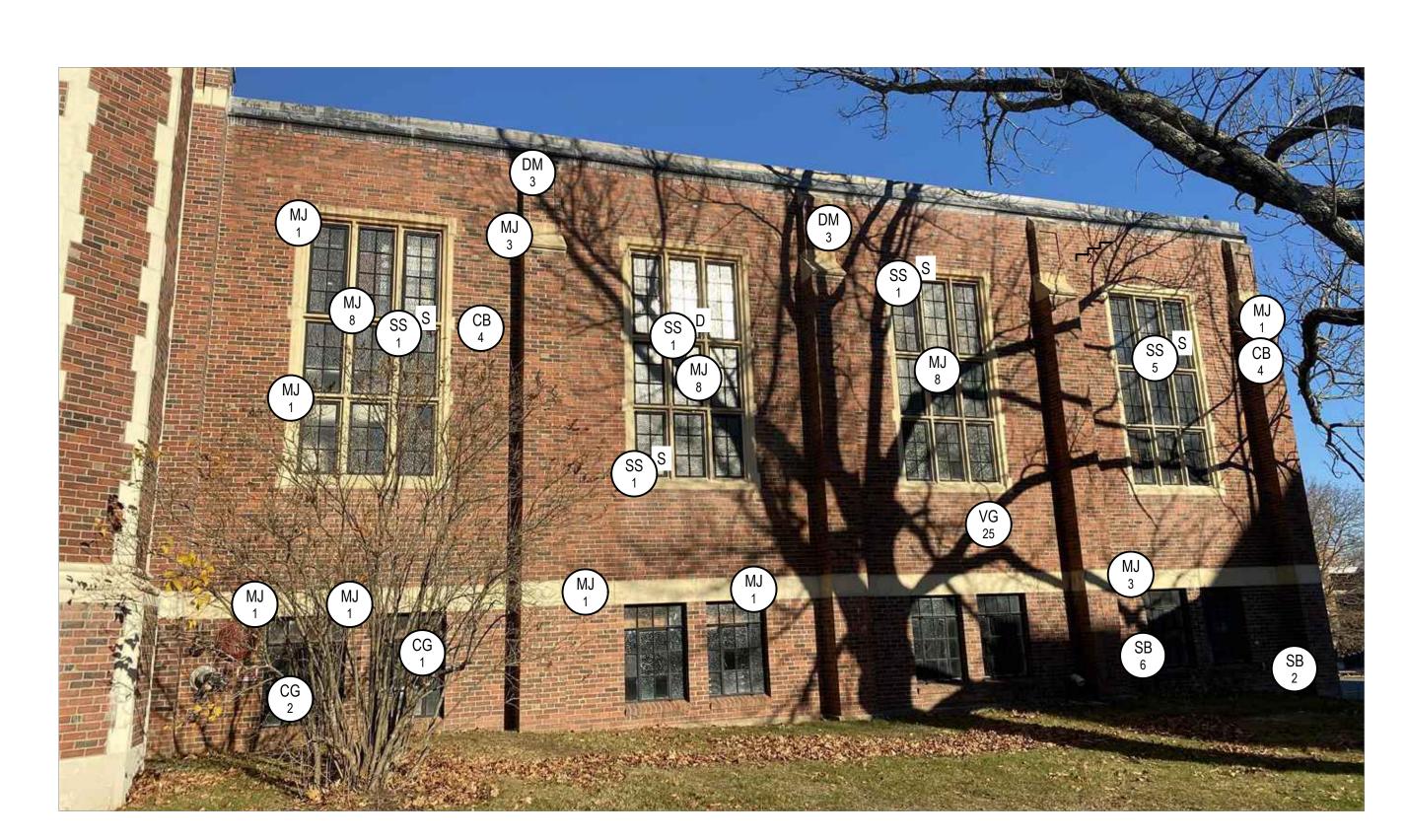
ELEVATIONS

DRAWING NO.

PARTIAL WEST ELEVATION

REPLACE CAST STONE TRIM, REFER TO DETAILS 1/A506 AND





\PARTIAL SOUTH ELEVATION - ALTERNATE NO. 2

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OPE UPGRADES AT RSITY OF SOUTHERN N 7, GORHAM, ME 04038

REPAIR LEGEND

CRACKED BRICK TO BE REPLACED; REFER TO DETAIL 12 ON DRAWING A503 DETAIL 2 ON DRAWING A504 # INDICATES LINEAR FEET

ELEVATION NOTES

CONFIGURATIONS. THE ACTUAL SIZES AND CONFIGURATIONS WILL VARY FROM THOSE

SHOWN. THE CONTRACTOR SHALL BASE THE BID AMOUNTS ON ACTUAL FIELD CONDITIONS.

GRAPHIC HATCHING AND SYMBOLS ARE USED ON THE ELEVATION DRAWINGS TO INDICATE

AREAS INCLUDED IN THE SCOPE OF WORK. ACTUAL DIMENSIONS AND QUANTITIES SHALL BI

FIELD VERIFIED. REFER TO THE LEGEND ON THIS SHEET FOR THE CORRESPONDING SCOPE

CONTRACTOR IS RESPONSIBLE FOR DESTROYING AND REMOVING BEES/HORNETS/WASPS NESTS WHICH MAY INFEST WALLS IN VARIOUS LOCATIONS. THESE LOCATIONS HAVE NOT BEEN SHOWN ON THE DOCUMENTS.

REMOVE RUST, EFFLORESCENCE, AND/OR VEGETATION FROM BRICK MASONRY VENEER AT DESIGNATED LOCATIONS.

THE ELEVATIONS ARE PROVIDED TO SHOW APPROXIMATE QUANTITIES AND

OF WORK ASSOCIATED WITH A PARTICULAR HATCH OR SYMBOL.

SCRAPE RUST, SCALE, AND DEBRIS FROM EXISTING WINDOW LINTEL.

REPOINT BRICK MASONRY 100% IN THE WORK LOCATIONS.

REMOVE EXISTING PERIMETER SEALANTS AND BACKER MATERIALS (100%).

CLEAN ALL WINDOW/GLAZING UPON COMPLETION OF THE ELEVATION WORK.

DETAIL 12 ON DRAWING A503
INDICATES UNITS DETERIORATED MORTAR JOINT TO BE REPAIRED; REFER TO DETAIL 1 ON DRAWING A504 # INDICATES SQUARE FEET

MASONRY

INDICATES UNITS

CLEAN WORK LOCATIONS 100%.

10. REFER TO SHEET G101 FOR GENERAL NOTES.

MJ DETERIORATED BRICK 10 CASE STONE MOTOR # J DRAWING A504

INDICATES LINEAR FEET STEP CRACK (APPROXIMATE SCALE) TO BE REPAIRED; REFER TO DETAIL 16 ON DRAWING A503 # INDICATES LINEAR FEET

> EXISTING ANCHOR/METAL STUB TO BE REMOVED AND PATCHED

EF EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET

VEGETATIVE GROWTH TO BE CLEANED; # INDICATES SQUARE FEET

AS ATMOSPHERIC STAINING TO BE CLEANED; # INDICATES SQUARE FEET

PREVIOUSLY REPAIRED MORTAR JOINT TO BE RMJ REMOVED AND REPAIRED; REFER TO DETAIL 1 ON # J DRAWING A504 # INDICATES SQUARE FEET

RUST STAINING ON LINTEL TO BE PAINTED; # INDICATES LINEAR FEET

BRICK MASONRY TO BE REBUILT; REFER TO DETAILS 12, 13, 14 AND 15 ON DRAWING A503

CONCRETE/STONE

CRACKED CONCRETE TO BE REPAIRED; REFER TO

SPALLED BRICK TO BE REPLACED; REFER TO SPALLED CONCRETE TO BE REPAIRED; REFER TO DETAIL 3 ON DRAWING A504 # INDICATES SQUARE FEET S = SHALLOW SPALL D = DEEP SPALL

> CRACKED CAST STONE TO BE REPAIRED; REFER TO DETAIL 6 ON DRAWING A504 # INDICATES LINEAR FEET

DELAMINATING CAST STONE TO BE REPAIRED; REFER TO DETAIL 4 AND 5 ON DRAWING A504 # INDICATES SQUARE FEET S= SHALLOW DELAMINATION D = DEEP DELAMINATION

SPALLED CAST STONE TO BE REPAIRED; REFER TO DETAIL4 AND 5 ON DRAWING A504

INDICATES SQUARE FEET S= SHALLOW SPALL
D= DEEP SPALL

REPLACE CAST STONE REFER TO DRAWING A505

GLAZING CG CRACKED GLAZING TO BE REPLACED; REFER TO DETAIL 5/A401

INDICATES LINEAR FEET SEALANTS

FAILED PERIMETER SEALANT TO BE REMOVED AND REPLACED; REFER TO DETAIL 6/A401 # INDICATES LINEAR FEET

FAILED SEALANT TO BE REMOVED AND REPLACED; REFER TO DETAIL 6/A401 # INDICATES LINEAR FEET

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NO. DATE DESCRIPTION BY PROJECT NO. 842520 842520 A200S

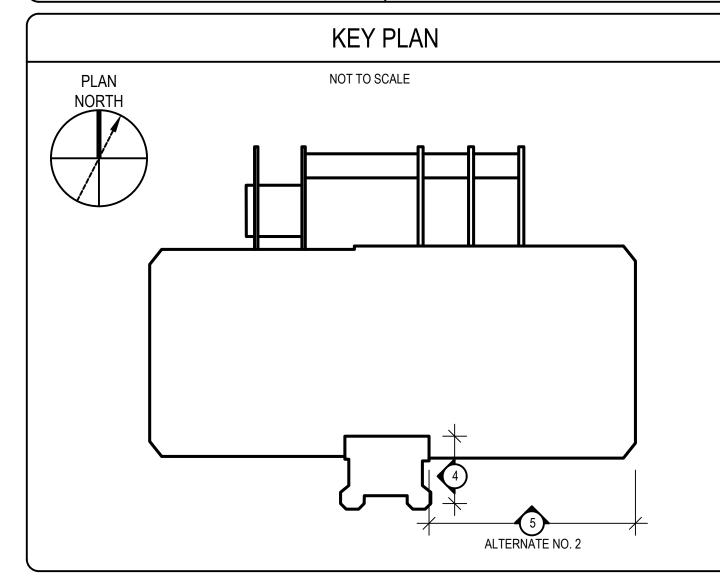
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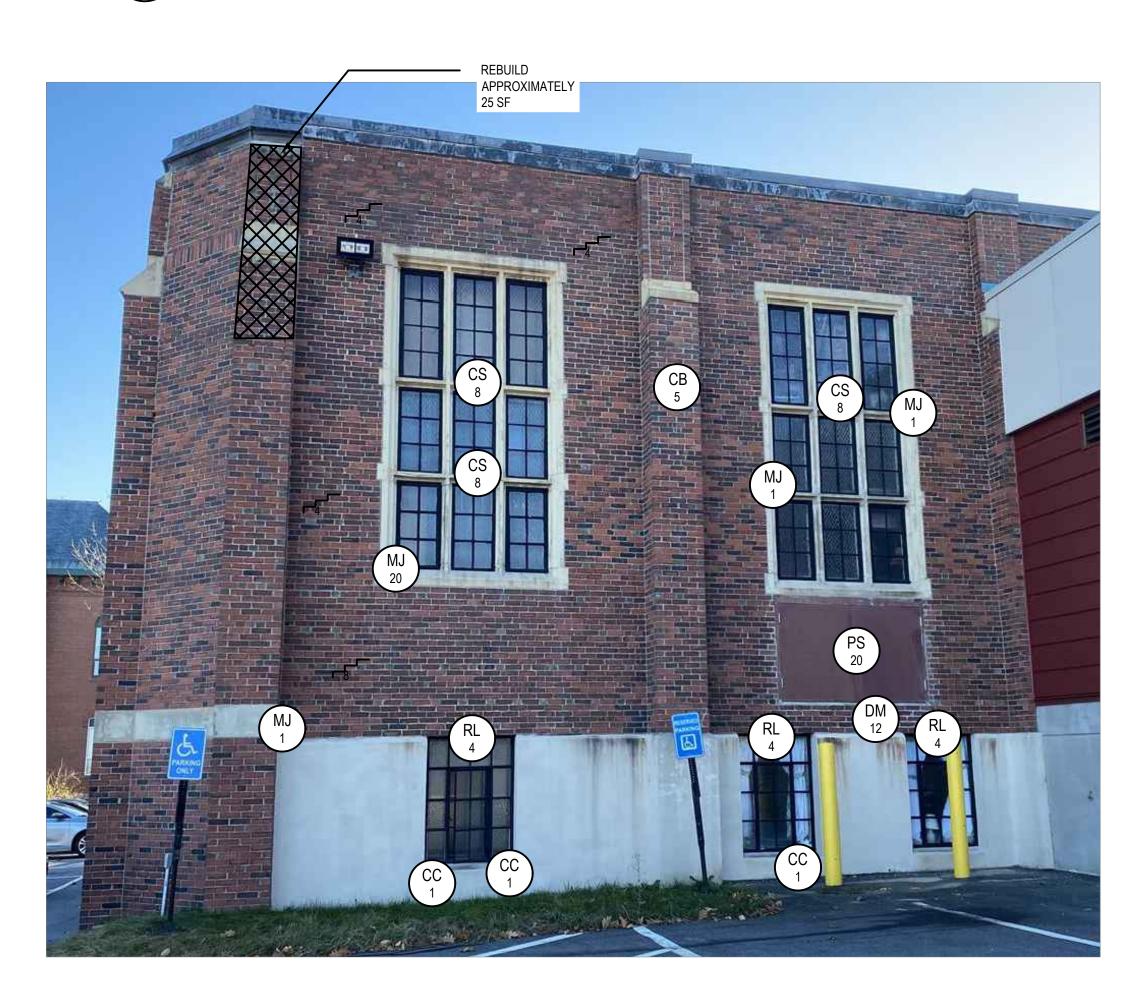
CADD FILE DESIGNED BY ALS DRAWN BY MRS CHECKED BY ALS / BHN 02/20/2025 DRAWING SCALE NOT TO SCALE **GRAPHIC SCALE**

SHEET TITLE

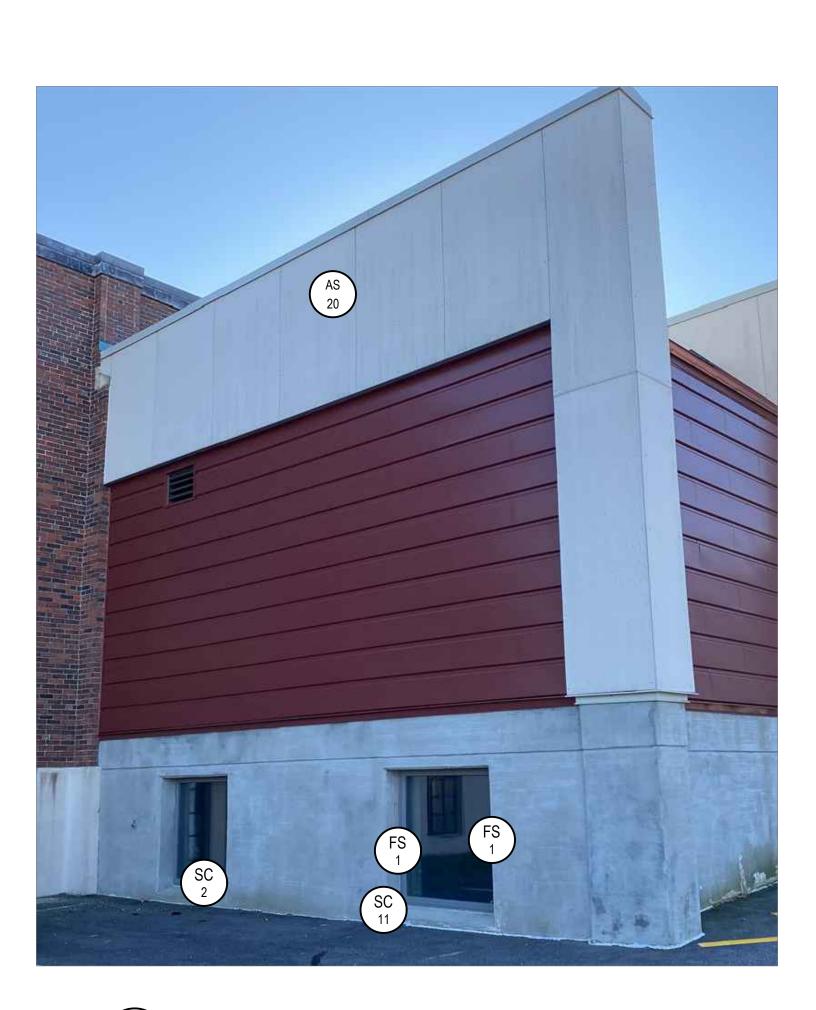
ELEVATIONS



\PARTIAL EAST ELEVATION - ALTERNATE NO. 3



\PARTIAL NORTH ELEVATION - ALTERNATE NO. 4



\PARTIAL EAST ELEVATION - ALTERNATE NO. 4

Engineers and Planners

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ELEVATION NOTES

CONTRACTOR IS RESPONSIBLE FOR DESTROYING AND REMOVING BEES/HORNETS/WASPS NESTS WHICH MAY INFEST WALLS IN VARIOUS LOCATIONS. THESE LOCATIONS HAVE NOT BEEN SHOWN ON THE DOCUMENTS.

4. SCRAPE RUST, SCALE, AND DEBRIS FROM EXISTING WINDOW LINTEL.

REMOVE RUST, EFFLORESCENCE, AND/OR VEGETATION FROM BRICK MASONRY VENEER AT DESIGNATED LOCATIONS.

6. REMOVE EXISTING PERIMETER SEALANTS AND BACKER MATERIALS (100%).

7. REPOINT BRICK MASONRY 100% IN THE WORK LOCATIONS.

8. CLEAN WORK LOCATIONS 100%.

9. CLEAN ALL WINDOW/GLAZING UPON COMPLETION OF THE ELEVATION WORK.

10. REFER TO SHEET G101 FOR GENERAL NOTES.

REPAIR LEGEND CONCRETE/STONE

CB CRACKED BRICK TO BE REPLACED; REFER TO DETAIL 12 ON DRAWING A503 # INDICATES UNITS

SB SPALLED BRICK TO BE REPLACED; REFER TO DETAIL 12 ON DRAWING A503 # INDICATES UNITS DETERIORATED MORTAR JOINT TO BE REPAIRED;

MASONRY

REFER TO DETAIL 1 ON DRAWING A504 # INDICATES SQUARE FEET

MJ DETERIORATED BRICK TO GAGE GTOTAL
JOINT TO BE REPAIRED; REFER TO DETAIL 1 ON DETERIORATED BRICK TO CASE STONE MORTAR **DRAWING A504** # INDICATES LINEAR FEET

STEP CRACK (APPROXIMATE SCALE) TO BE REPAIRED; REFER TO DETAIL 16 ON DRAWING A503 # INDICATES LINEAR FEET

★ EXISTING ANCHOR/METAL STUB TO BE REMOVED AND PATCHED

EF EFFLORESCENCE TO BE CLEANED; # / # INDICATES SQUARE FEET

VEGETATIVE GROWTH TO BE CLEANED; # INDICATES SQUARE FEET

ATMOSPHERIC STAINING TO BE CLEANED; # INDICATES SQUARE FEET

PREVIOUSLY REPAIRED MORTAR JOINT TO BE REMOVED AND REPAIRED; REFER TO DETAIL 1 ON # DRAWING A504
INDICATES SOLIA # INDICATES SQUARE FEET

RL RUST STAINING ON LINTEL TO BE PAINTED; # INDICATES LINEAR FEET

BRICK MASONRY TO BE REBUILT; REFER TO DETAILS 12, 13, 14 AND 15 ON DRAWING A503

CRACKED CONCRETE TO BE REPAIRED; REFER TO DETAIL 2 ON DRAWING A504
INDICATES LINEAR FEET

SPALLED CONCRETE TO BE REPAIRED; REFER TO DETAIL 3 ON DRAWING A504 # INDICATES SQUARE FEET S = SHALLOW SPALL D = DEEP SPALL

CRACKED CAST STONE TO BE REPAIRED; REFER TO DETAIL 6 ON DRAWING A504 # INDICATES LINEAR FEET

DS DELAMINATING CAST STONE TO BE REPAIRED; REFER TO DETAIL 4 AND 5 ON DRAWING A504 # INDICATES SQUARE FEET S= SHALLOW DELAMINATION D= DEEP DELAMINATION

SPALLED CAST STONE TO BE REPAIRED; REFER TO DETAIL4 AND 5 ON DRAWING A504

INDICATES SQUARE FEET
S= SHALLOW SPALL D= DEEP SPALL

REPLACE CAST STONE REFER TO DRAWING A505

GLAZING

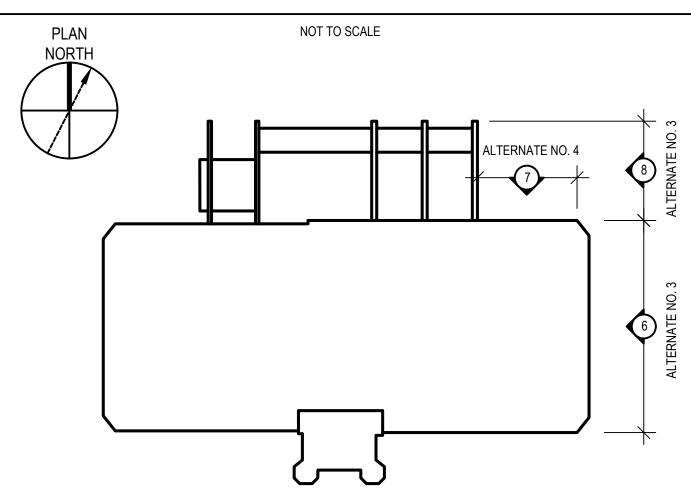
SEALANTS

CRACKED GLAZING TO BE REPLACED;
REFER TO DETAIL 5/A401
INDICATES LINEAR FEET

FAILED PERIMETER SEALANT TO BE REMOVED AND REPLACED; REFER TO DETAIL 6/A401 # INDICATES LINEAR FEET

> FAILED SEALANT TO BE REMOVED AND REPLACED; REFER TO DETAIL 6/A401 # INDICATES LINEAR FEET

KEY PLAN



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S.H.G.

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BUILDIN JSSELL HA 24 UNIVER

NO. DATE DESCRIPTION PROJECT NO. 842520 CADD FILE 842520 A200S **DESIGNED BY** ALS DRAWN BY MRS CHECKED BY ALS / BHN

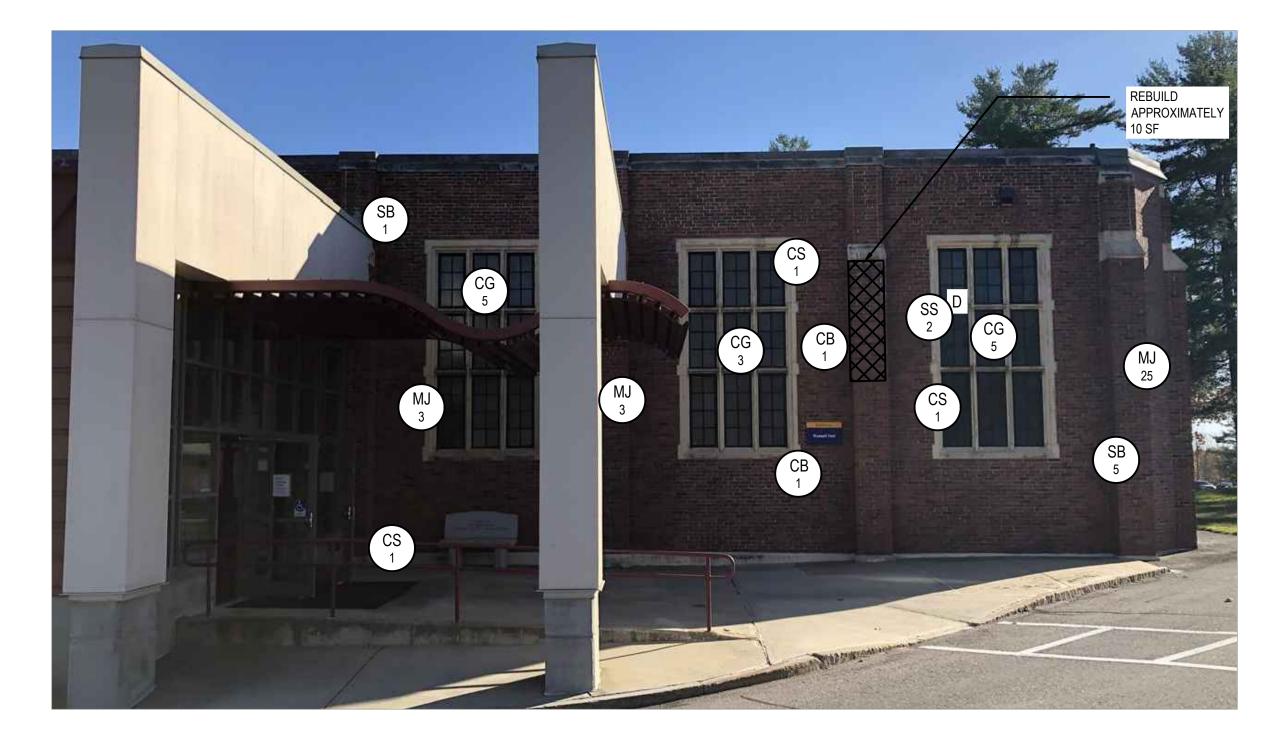
02/20/2025

DRAWING SCALE NOT TO SCALE **GRAPHIC SCALE**

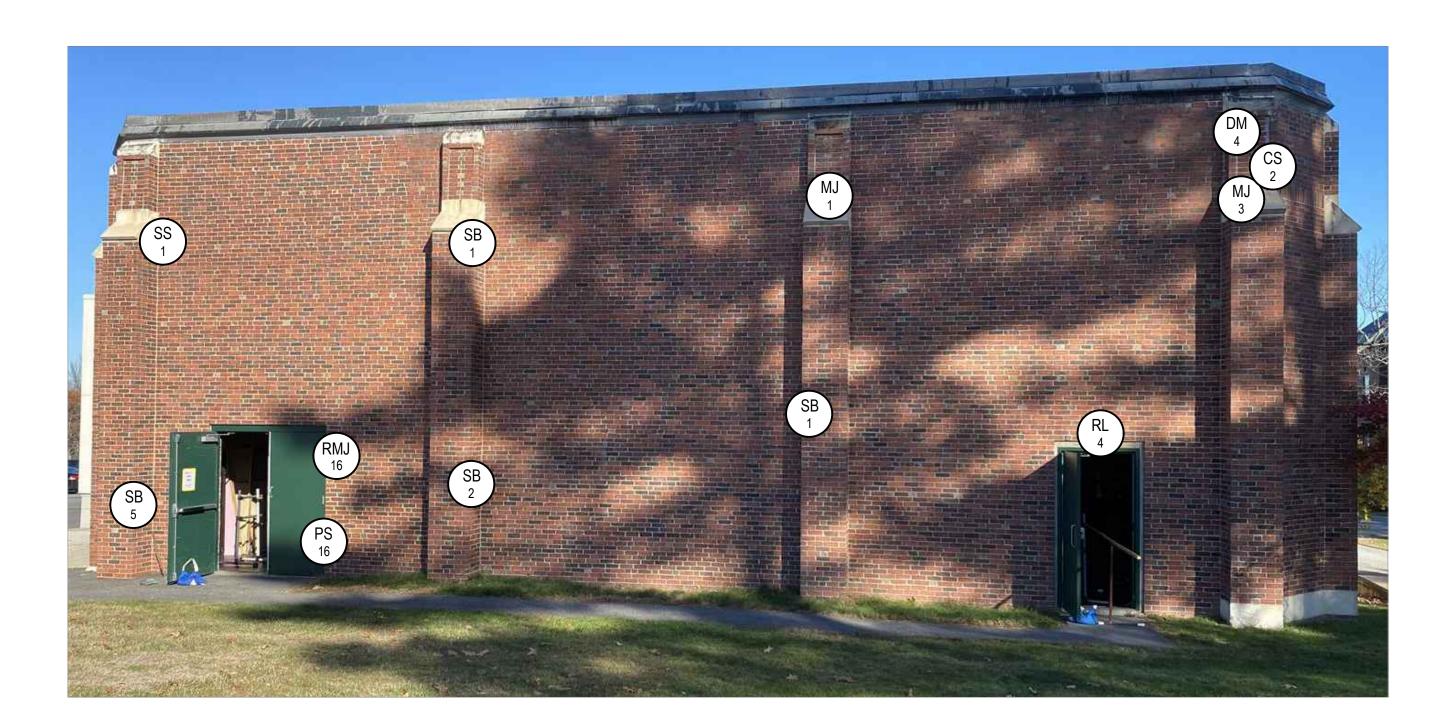
SHEET TITLE

ELEVATIONS

PARTIAL NORTH ELEVATION - ALTERNATE NO. 4



PARTIAL NORTH ELEVATION - ALTERNATE NO. 4 SCALE: N.T.S.



\PARTIAL WEST ELEVATION - ALTERNATE NO. 5

REPAIR LEGEND

MASONRY

CRACKED BRICK TO BE REPLACED; REFER TO DETAIL 12 ON DRAWING A503 # INDICATES UNITS

SPALLED BRICK TO BE REPLACED; REFER TO DETAIL 12 ON DRAWING A503 # INDICATES UNITS

DETERIORATED MORTAR JOINT TO BE REPAIRED; REFER TO DETAIL 1 ON DRAWING A504 # INDICATES SQUARE FEET

DETERIORATED BRICK TO CASE STONE MORTAR JOINT TO BE REPAIRED; REFER TO DETAIL 1 ON DRAWING A504 # INDICATES LINEAR FEET

STEP CRACK (APPROXIMATE SCALE) TO BE REPAIRED; REFER TO DETAIL 16 ON DRAWING A503 # INDICATES LINEAR FEET

> EXISTING ANCHOR/METAL STUB TO BE REMOVED AND PATCHED

EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET

INDICATES SQUARE FEET

VEGETATIVE GROWTH TO BE CLEANED; # INDICATES SQUARE FEET ATMOSPHERIC STAINING TO BE CLEANED;

PREVIOUSLY REPAIRED MORTAR JOINT TO BE RMJ REMOVED AND REPAIRED; REFER TO DETAIL 1 ON

DRAWING A504 # INDICATES SQUARE FEET RL RUST STAINING ON LINTEL TO BE PAINTED;

INDICATES LINEAR FEET

BRICK MASONRY TO BE REBUILT; REFER TO DETAILS 12, 13, 14 AND 15 ON DRAWING A503

CONCRETE/STONE CRACKED CONCRETE TO BE REPAIRED; REFER TO

DETAIL 2 ON DRAWING A504 # INDICATES LINEAR FEET

SPALLED CONCRETE TO BE REPAIRED; REFER TO DETAIL 3 ON DRAWING A504 # INDICATES SQUARE FEET S = SHALLOW SPALL D = DEEP SPALL

CRACKED CAST STONE TO BE REPAIRED; REFER TO DETAIL 6 ON DRAWING A504 # INDICATES LINEAR FEET

DS DELAMINATING CAST STONE TO BE REPAIRED; REFER TO DETAIL 4 AND 5 ON DRAWING A504 # INDICATES SQUARE FEET S = SHALLOW DELAMINATION D= DEEP DELAMINATION

SPALLED CAST STONE TO BE REPAIRED; REFER TO DETAIL4 AND 5 ON DRAWING A504 # INDICATES SQUARE FEET S= SHALLOW SPALL D= DEEP SPALL

REPLACE CAST STONE REFER TO DRAWING A505

GLAZING

CRACKED GLAZING TO BE REPLACED;
REFER TO DETAIL 5/A401 REFER TO DETAIL 5/A401 # INDICATES LINEAR FEET

SEALANTS

PS FAILED PERIMETER SEALANT TO BE REMOVED AND REPLACED; REFER TO DETAIL 6/A401 # INDICATES LINEAR FEET

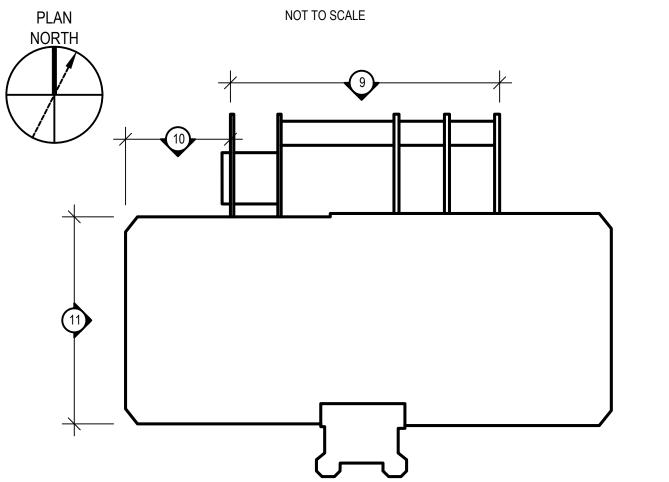
FAILED SEALANT TO BE REMOVED AND REPLACED; REFER TO DETAIL 6/A401 # INDICATES LINEAR FEET

ELEVATION NOTES

- 1. THE ELEVATIONS ARE PROVIDED TO SHOW APPROXIMATE QUANTITIES AND CONFIGURATIONS. THE ACTUAL SIZES AND CONFIGURATIONS WILL VARY FROM THOSE SHOWN. THE CONTRACTOR SHALL BASE THE BID AMOUNTS ON ACTUAL FIELD CONDITIONS.
- GRAPHIC HATCHING AND SYMBOLS ARE USED ON THE ELEVATION DRAWINGS TO INDICATE AREAS INCLUDED IN THE SCOPE OF WORK. ACTUAL DIMENSIONS AND QUANTITIES SHALL BE FIELD VERIFIED. REFER TO THE LEGEND ON THIS SHEET FOR THE CORRESPONDING SCOPE OF WORK ASSOCIATED WITH A PARTICULAR HATCH OR SYMBOL.
- CONTRACTOR IS RESPONSIBLE FOR DESTROYING AND REMOVING BEES/HORNETS/WASPS NESTS WHICH MAY INFEST WALLS IN VARIOUS LOCATIONS. THESE LOCATIONS HAVE NOT BEEN SHOWN ON THE DOCUMENTS.
- SCRAPE RUST, SCALE, AND DEBRIS FROM EXISTING WINDOW LINTEL.
- REMOVE RUST, EFFLORESCENCE, AND/OR VEGETATION FROM BRICK MASONRY VENEER AT DESIGNATED LOCATIONS.
- REMOVE EXISTING PERIMETER SEALANTS AND BACKER MATERIALS (100%).
- REPOINT BRICK MASONRY 100% IN THE WORK LOCATIONS.
- CLEAN WORK LOCATIONS 100%.
- 9. CLEAN ALL WINDOW/GLAZING UPON COMPLETION OF THE ELEVATION WORK.
- 10. REFER TO SHEET G101 FOR GENERAL NOTES.

KEY PLAN

NOT TO SCALE



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DESCRIPTION BY NO. DATE PROJECT NO. 842520 CADD FILE 842520 A200S **DESIGNED BY** ALS DRAWN BY MRS CHECKED BY ALS / BHN 02/20/2025

DRAWING SCALE | NOT TO SCALE **GRAPHIC SCALE**

SHEET TITLE

ELEVATIONS



REBUILD — APPROXIMATELY 300 SF REFER TO DETAIL 12/A503 REPLACE EXISTING CAST STONE QUOINS, REFER TO DETAILS 1, 2 AND 3/A505 —

PARTIAL NORTH ELEVATION

REMOVE AND DISPOSE EXISTING WOOD DOOR, WOOD FRAME, SEALANT, HARDWARE, THRESHOLD AND WEATHERSTRIPPING. REPLACE WITH NEW INSULATED HOLLOW METAL DOOR, FRAME, SEALANT, HARDWARE THRESHOLD AND WEATHERSTRIPPING. REFER

\PARTIAL WEST ELEVATION

BRACE AND SHORE

EXISTING MASONRY

ABOVE REBUILD AREA

TYPICAL

2 AND 3/A505 —

REBUILD BRICK APPROXIMATELY 30 SF REFER TO DETAIL 12/A503 ——

REBUILD BRICK APPROXIMATELY REFER TO DETAIL 12/A503

REPLACE EXISTING CAST STONE QUOINS, TYPICAL REFER TO DETAILS 1, 2 AND

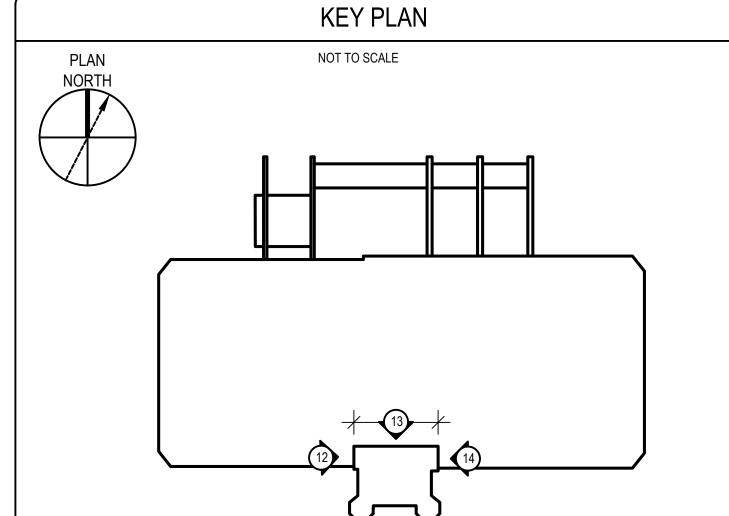


- GRAPHIC HATCHING AND SYMBOLS ARE USED ON THE ELEVATION DRAWINGS TO INDICATE AREAS INCLUDED IN THE SCOPE OF WORK. ACTUAL DIMENSIONS AND QUANTITIES SHALL BE FIELD VERIFIED. REFER TO THE LEGEND ON THIS SHEET FOR THE CORRESPONDING SCOPE OF WORK ASSOCIATED WITH A PARTICULAR HATCH OR SYMBOL.
- NESTS WHICH MAY INFEST WALLS IN VARIOUS LOCATIONS. THESE LOCATIONS HAVE NOT
- SCRAPE RUST, SCALE, AND DEBRIS FROM EXISTING WINDOW LINTEL.
- REMOVE EXISTING PERIMETER SEALANTS AND BACKER MATERIALS (100%).
- CLEAN WORK LOCATIONS 100%.
- CLEAN ALL WINDOW/GLAZING UPON COMPLETION OF THE ELEVATION WORK.
- 10. REFER TO SHEET G101 FOR GENERAL NOTES.

MASONRY

REPAIR LEGEND CONCRETE/STONE CRACKED BRICK TO BE REPLACED; REFER TO DETAIL 12 ON DRAWING A503 DETAIL 2 ON DRAWING A504

- # INDICATES UNITS SPALLED BRICK TO BE REPLACED; REFER TO DETAIL 12 ON DRAWING A503 # INDICATES UNITS
- DETERIORATED MORTAR JOINT TO BE REPAIRED; REFER TO DETAIL 1 ON DRAWING A504 # INDICATES SQUARE FEET
- MJ DETERIORATED BRICK TO CASE STORE MO. **DRAWING A504** # INDICATES LINEAR FEET
- STEP CRACK (APPROXIMATE SCALE) TO BE REPAIRED; REFER TO DETAIL 16 ON DRAWING A503 # INDICATES LINEAR FEET
- ★ EXISTING ANCHOR/METAL STUB TO BE REMOVED AND PATCHED
- EF EFFLORESCENCE TO BE CLEANED; # INDICATES SQUARE FEET
- VEGETATIVE GROWTH TO BE CLEANED; # INDICATES SQUARE FEET
- AS ATMOSPHERIC STAINING TO BE CLEANED; # INDICATES SQUARE FEET
- PREVIOUSLY REPAIRED MORTAR JOINT TO BE REMOVED AND REPAIRED; REFER TO DETAIL 1 ON
- Wind # DRAWING A504 # INDICATES SQUARE FEET
- RUST STAINING ON LINTEL TO BE PAINTED; # INDICATES LINEAR FEET
- BRICK MASONRY TO BE REBUILT; REFER TO DETAILS 12, 13, 14 AND 15 ON DRAWING A503
- - REPLACED; REFER TO DETAIL 6/A401 # INDICATES LINEAR FEET



THE ELEVATIONS ARE PROVIDED TO SHOW APPROXIMATE QUANTITIES AND CONFIGURATIONS. THE ACTUAL SIZES AND CONFIGURATIONS WILL VARY FROM THOSE SHOWN. THE CONTRACTOR SHALL BASE THE BID AMOUNTS ON ACTUAL FIELD CONDITIONS.

CONTRACTOR IS RESPONSIBLE FOR DESTROYING AND REMOVING BEES/HORNETS/WASPS BEEN SHOWN ON THE DOCUMENTS.

- REMOVE RUST, EFFLORESCENCE, AND/OR VEGETATION FROM BRICK MASONRY VENEER AT DESIGNATED LOCATIONS.
- REPOINT BRICK MASONRY 100% IN THE WORK LOCATIONS.

CRACKED CONCRETE TO BE REPAIRED; REFER TO

INDICATES LINEAR FEET

SPALLED CONCRETE TO BE REPAIRED; REFER TO DETAIL 3 ON DRAWING A504 # INDICATES SQUARE FEET S = SHALLOW SPALL D = DEEP SPALL

CRACKED CAST STONE TO BE REPAIRED; REFER TO DETAIL 6 ON DRAWING A504 # INDICATES LINEAR FEET

DELAMINATING CAST STONE TO BE REPAIRED; REFER TO DETAIL 4 AND 5 ON DRAWING A504 # REFER TO DETAIL 4 AND 5 ON # INDICATES SQUARE FEET S = SHALLOW DELAMINATION D = DEEP DELAMINATION

SPALLED CAST STONE TO BE REPAIRED; REFER TO DETAIL4 AND 5 ON DRAWING A504 # INDICATES SQUARE FEET S= SHALLOW SPALL
D= DEEP SPALL

REPLACE CAST STONE REFER TO DRAWING A505

GLAZING CRACKED GLAZING TO BE REPLACED;

REFER TO DETAIL 5/A401 # INDICATES LINEAR FEET

SEALANTS FAILED PERIMETER SEALANT TO BE REMOVED AND REPLACED; REFER TO DETAIL 6/A401 # INDICATES LINEAR FEET

FAILED SEALANT TO BE REMOVED AND

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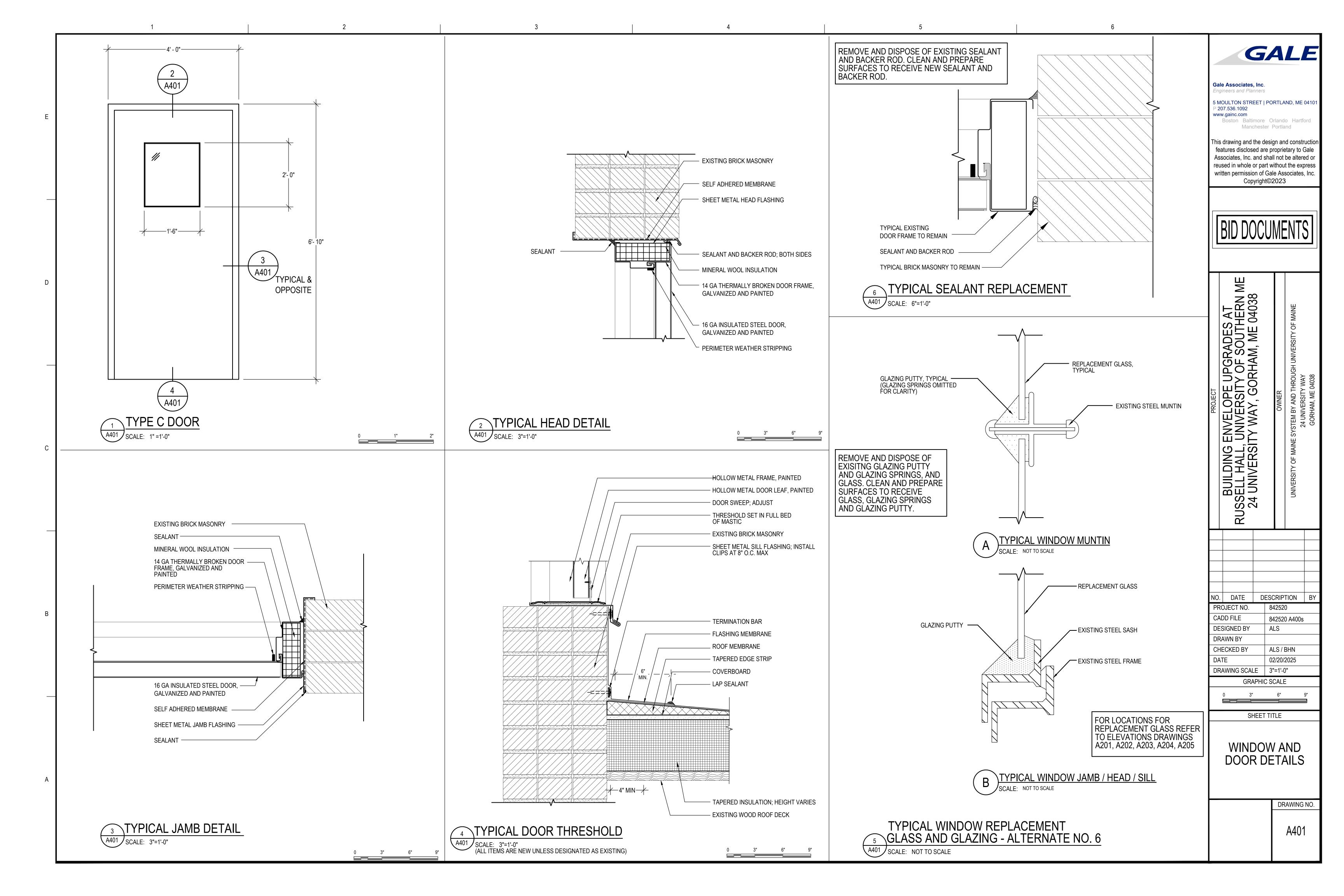
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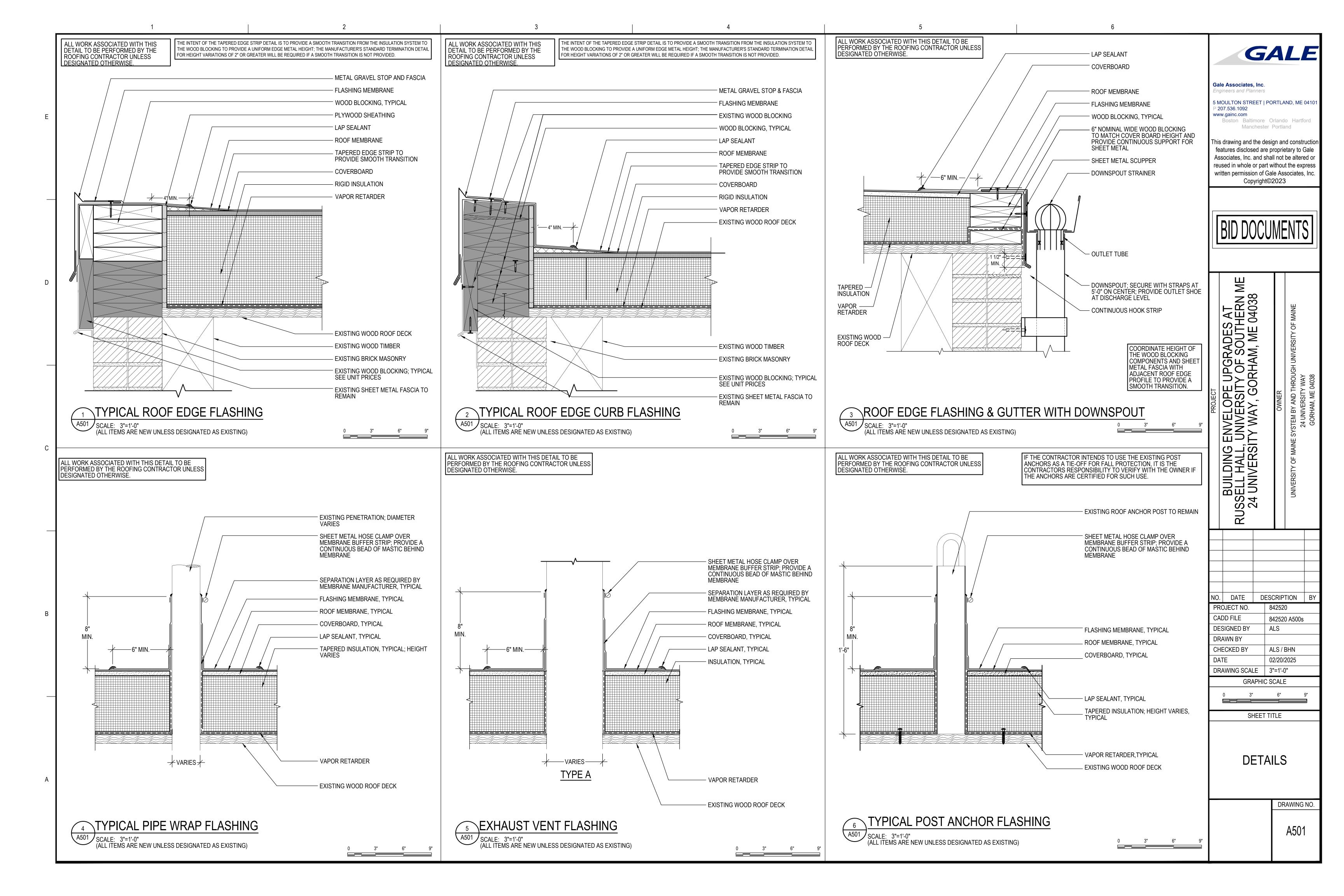
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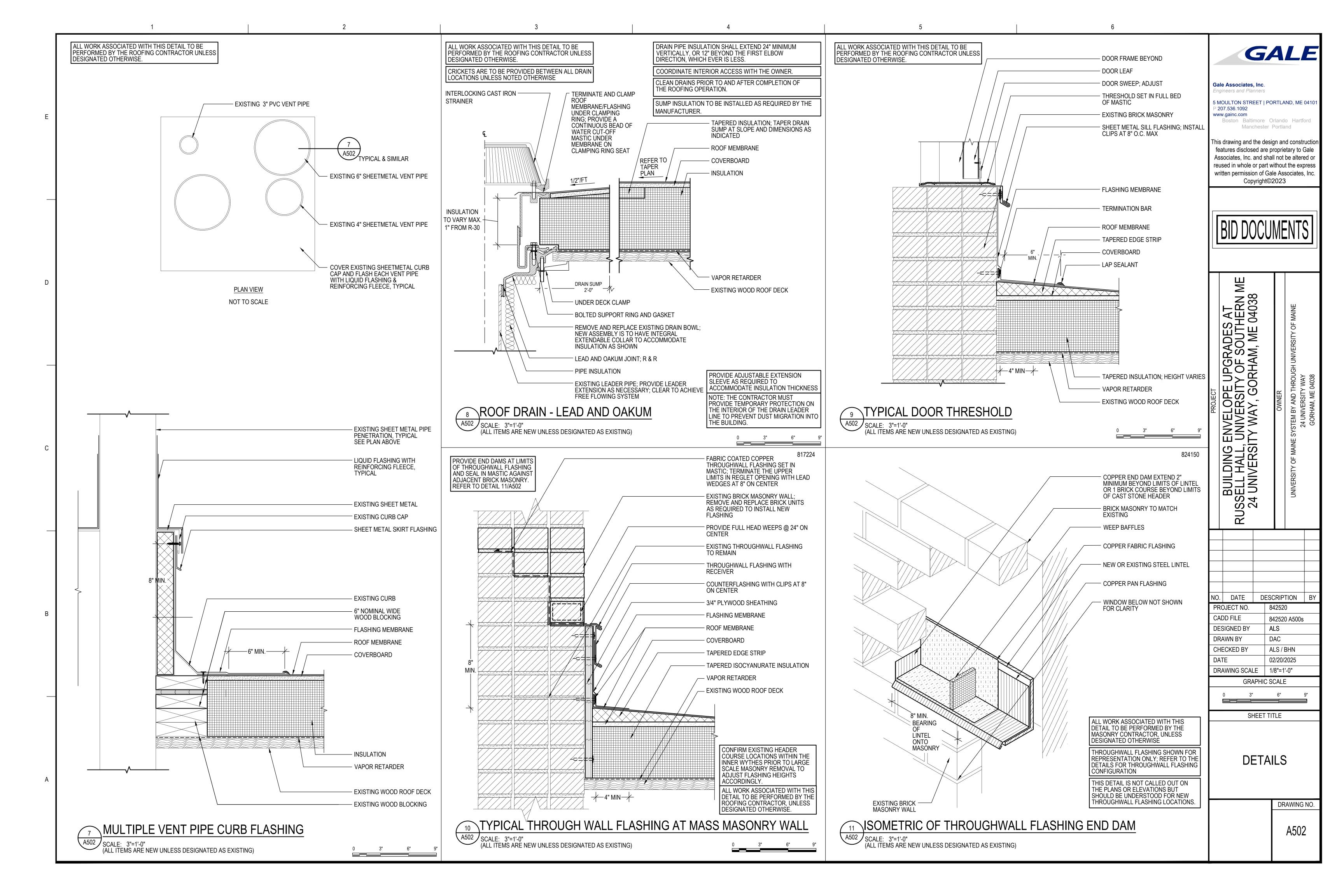
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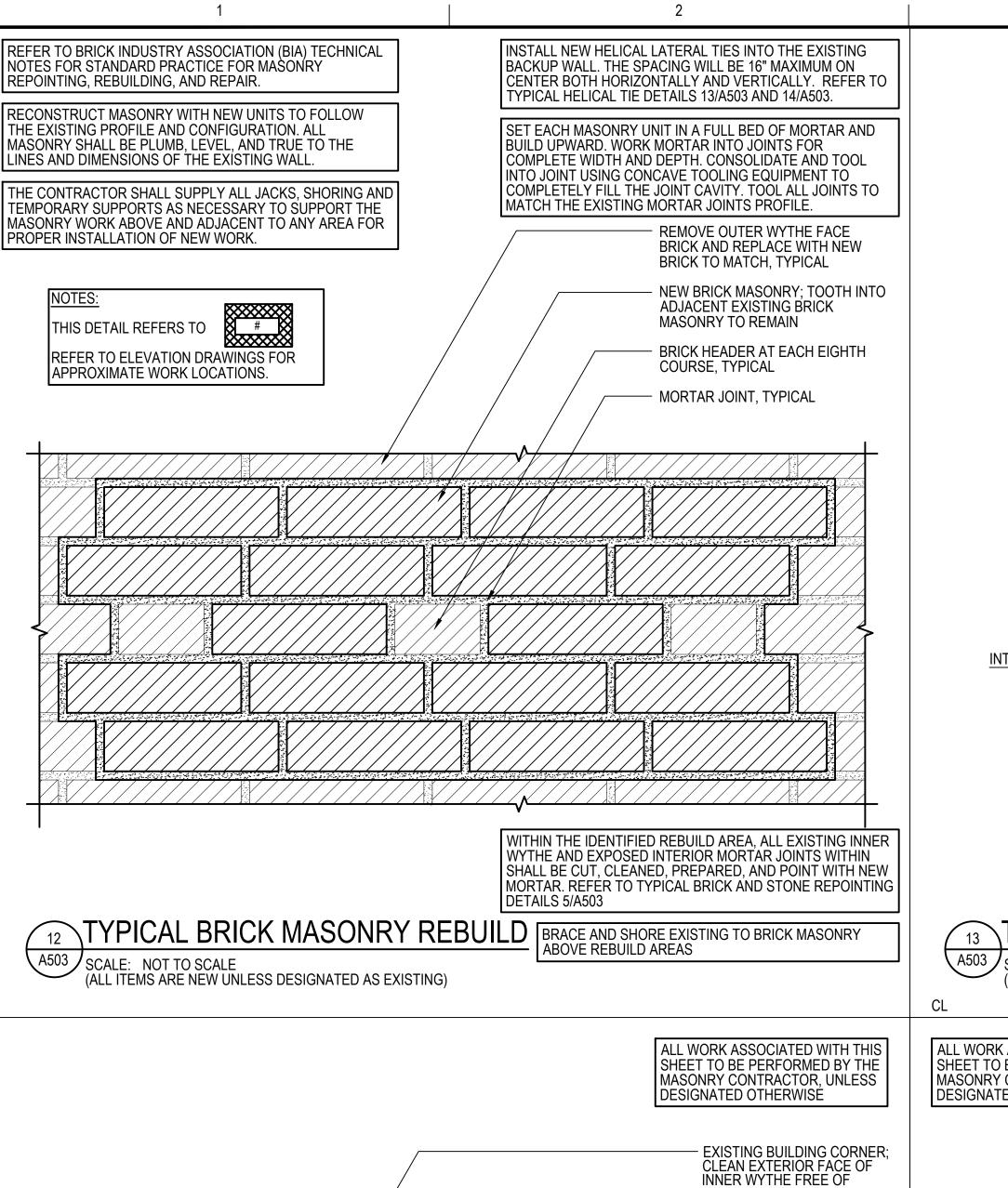
ELEVATIONS











ALL WORK ASSOCIATED WITH THIS - EXISTING INNER WYTHE. CLEAN SHEET TO BE PERFORMED BY THE EXTERIOR FACE OF INNER WYTHE MASONRY CONTRACTOR, UNLESS FREE OF LOOSE LOOSE MATERIAL AND OTHER POTENTIAL DESIGNATED OTHERWISE BOND-BREAKER EXISTING MASS BRICK MASONRY WALL TO REMAIN 10MM DIAMETER SPIRA-LOK OR 10MM HELIBARS (SPECIFIED)TO BE INSTALLED @ 8"O.C. STAGGERED ON PIER/ WALL LOCATIONS. PRE-DRILL HOLES @ 20° ANGLE FROM THE INSIDE THROUGH WALL WIDTH PATCH PREDRILLED PENETRATION AS SPECIFIED BY THE MANUFACTURER - REMOVE OUTER WYTHE FACE BRICK AND REPLACE WITH NEW BRICK TO MATCH, TYPICAL O.C. STAGGERED (TYPICAL) **EACH WAY** MORTAR JOINT, TYPICAL REPOINT INNER WYTHE MORTAR JOINTS. INTERIOR **EXTERIOR**

THESE STEPS OF REPAIR SHALL BE LIMITED TO FOUR (4) FOOT MAXIMUM DEMOLITION/ REPLACEMENT AREAS (VERTICALLY AND HORIZONTALLY). CONTRACTOR MUST PROVIDE TEMPORARY SHORING FOR ALL REPAIR PHASES

O.C.

STAGGERE

(TYPICAL)

EACH WAY

INTERIOR

REPOINT MORTAR JOINTS, TYPICAL—

ALL WORK ASSOCIATED WITH THIS SHEET TO BE PERFORMED BY THE MASONRY CONTRACTOR, UNLESS DESIGNATED OTHERWISE

 EXISTING MASS BRICK MASONRY WALL TO REMAIN

EXISTING INNER WYTHE. CLEAN EXTERIOR FACE OF INNER WYTHE FREE OF LOOSE LOOSE MATERIAL AND OTHER POTENTIAL BOND-BREAKER

HELICAL ANCHORS TO BE INSTALLED

HELICAL ANCHORS TO BE INSTALLED @ 16"O.C. STAGGERED AT WALL.

POLYMER MODIFIED VENEER MORTAR. PROVIDE 3/8" CONTINUOUS THICK LAYER FREE OF VOIDS ON SURFACE PREPARED INNER WYTHE

WALL. EXTERIOR BRICK WYTHE MUST BE IN FULL CONTACT W/ WET MORTAR.

REMOVE OUTER WYTHE FACE BRICK AND REPLACE WITH NEW BRICK TO MATCH, TYPICAL

MORTAR JOINT, TYPICAL

JOINTS, TYPICAL

REPOINT INNER WYTHE MORTAR

(TYP.)

PRE-DRILL HOLES @ 20° ANGLE FROM THE INSIDE THROUGH FULL

@ 16"O.C. STAGGERED. PRE-DRILL HOLES @ 20° ANGLE FROM THE INSIDE THROUGH INNER TWO (2)

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NO. DATE DESCRIPTION PROJECT NO. 842520 CADD FILE 842520 A500s **DESIGNED BY** ALS **DRAWN BY** DAC CHECKED BY ALS / BHN

DRAWING SCALE 1/8"=1'-0" **GRAPHIC SCALE**

SHEET TITLE

02/20/2025

DETAILS

DRAWING NO.

TYPICAL FULL DEPTH MASONRY WALL STRENGTHENING

(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

TYPICAL HELICAL TIE DETAIL AT MASS MASONRY CORNER A503 SCALE: 3"=1'-0" (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

BRICK MASONRY STITCH TIE;

EMBED TIE INTO SLOT, INSERT

STITCH TIES SHALL BE 8mm

APPROVED EQUAL.

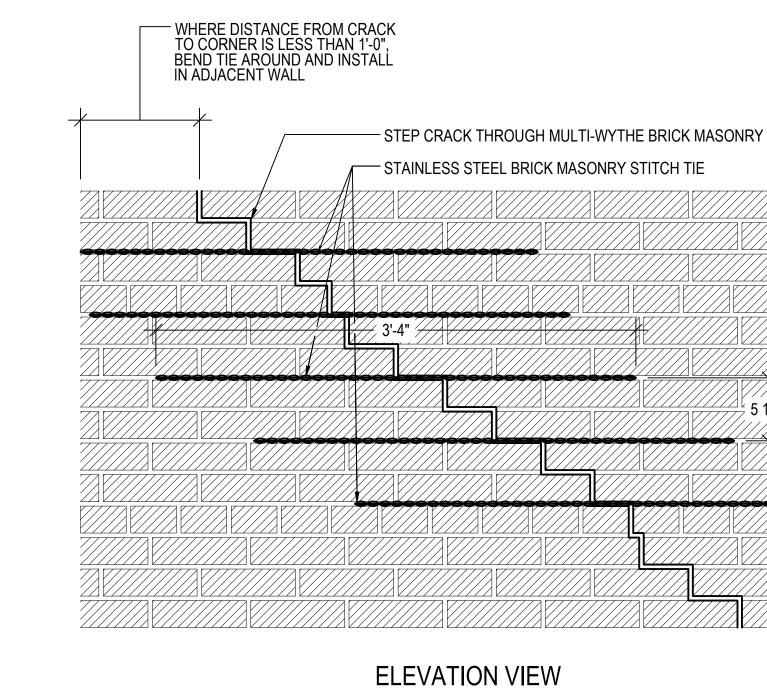
ADDITIONAL MORTAR TO FILL THE

SLOT AND TOOL JOINT TO MATCH

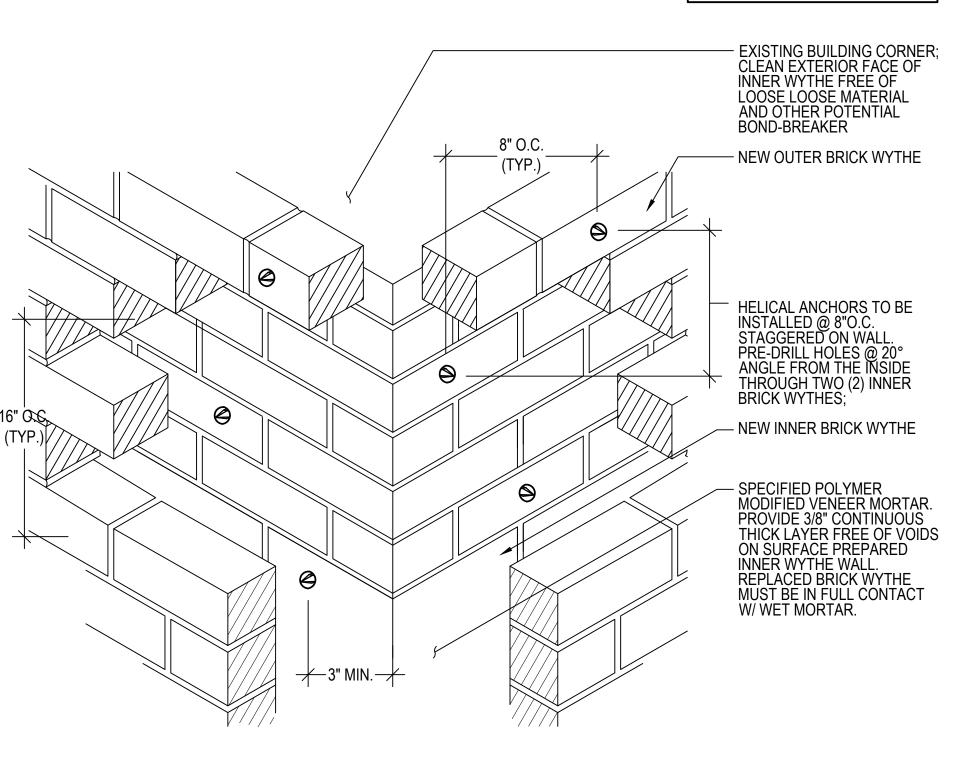
CUT SLOT 1-1/2" DEEP INTO HORIZONTAL MORTAR BED, FILL SLOT WITH 1/2" OF NEW MORTAR

EXISTING.

ALL WORK ASSOCIATED WITH THIS MASONRY CONTRACTOR, UNLESS DESIGNATED OTHERWISE



TYPICAL BRICK MASONRY STITCH DETAIL A503 | SCALE: 1 1/2"=1-'0"



TYPICAL HELICAL TIE DETAIL AT CORNER A503 SCALE: 3"=1'-0"

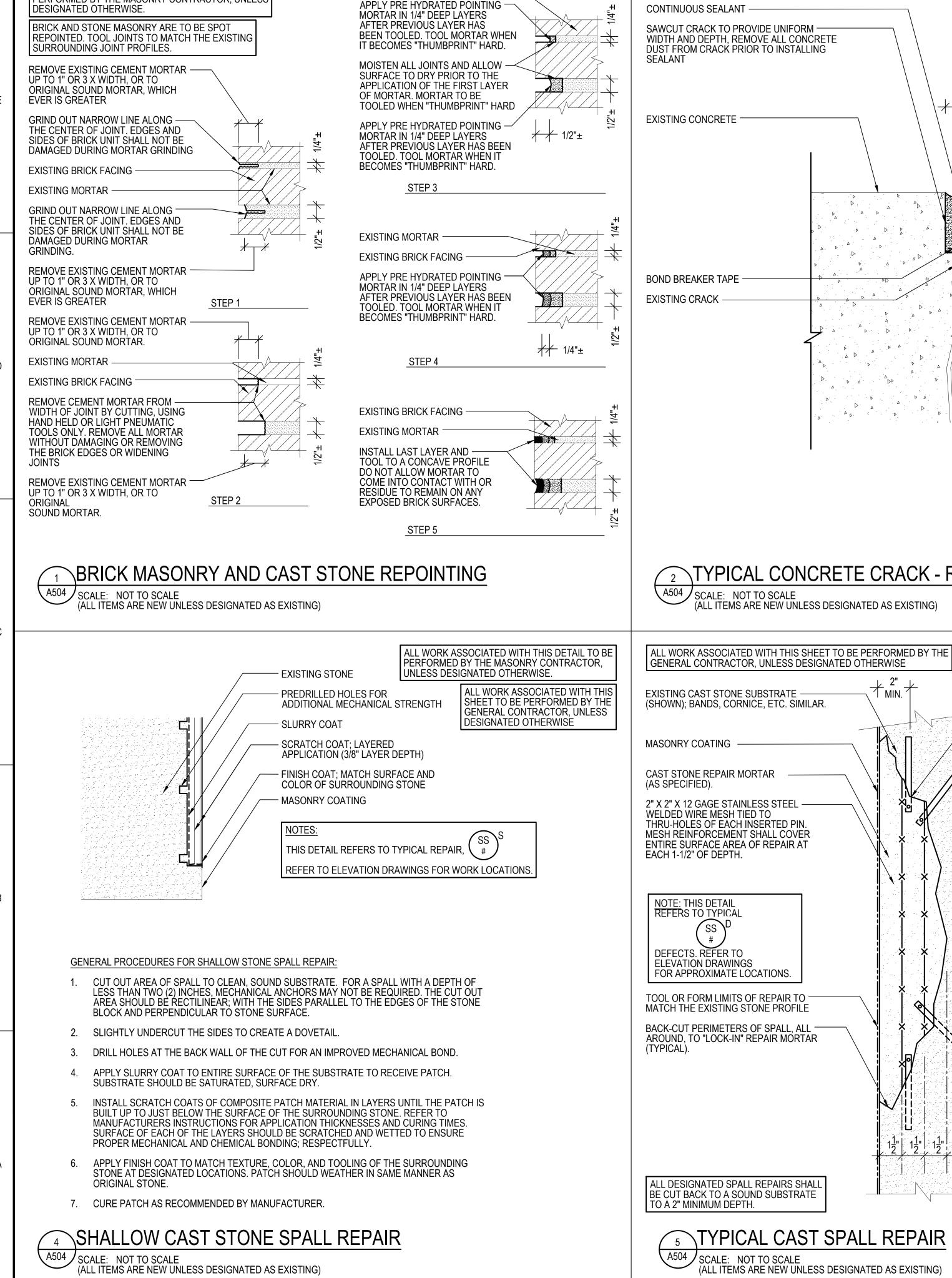
(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

STITCH TIE BAR MANUFACTURED BY CONSTRUCTION TIE PRODUCTS OR 8mm HELIBAR MANUFACTURED BY HELIFIX, OR

SECTION VIEW

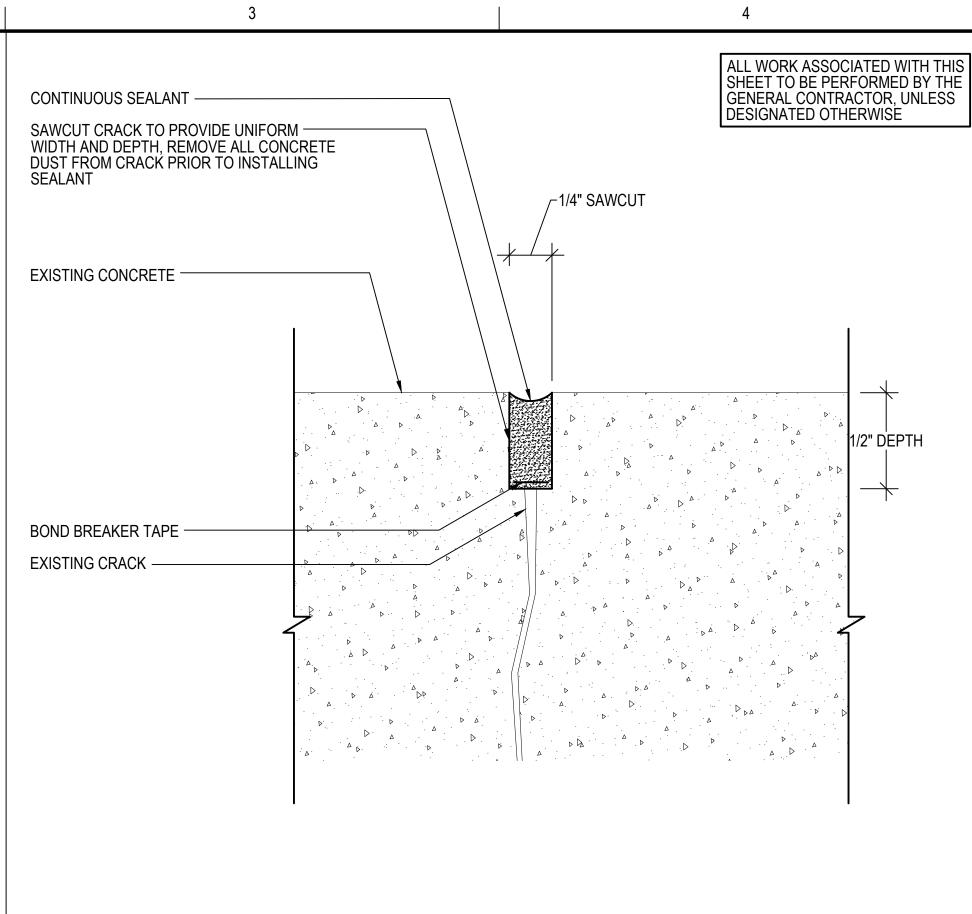
1/2' 1' 1 1/2'



EXISTING BRICK FACING -

ALL WORK ASSOCIATED WITH THIS DETAIL TO BE

PERFORMED BY THE MASONRY CONTRACTOR, UNLESS



TYPICAL CONCRETE CRACK - ROUT & SEAL REPAIR SCALE: NOT TO SCALE

- + $\frac{2"}{MIN}$. +

(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

TYPICAL CAST SPALL REPAIR

(ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

SLURRY COAT (AS SPECIFIED) ON PREPARED SUBSTRATE.

> DRILL AND MECHANICALLY FASTEN 1/4" MIN. DIAMETER STAINLESS STEEL PINS (WITH OUTER END THRU-HOLE) INTO SUBSTRATE OF REPAIR AREA. MAINTAIN 2" MINIMUM EDGE DISTANCE FOR EACH

NOTE: MAXIMUM SPACING OF PINS SHALL BE 8" IN ANY DIRECTION.

GENERAL PROCEDURES FOR SPALL REPAIR

1. REMOVE EXISTING MASONRY COATING FROM REPAIR AREA AND BEYOND TO CAST STONE

BACK-ANGLE SAWCUT PERIMETER -POLYGON SHAPE (DO NOT CUT reinforcement)

3. CHIP OUT ALL DETERIORATED STONE.

4. CLEAN ALL EXPOSED EMBEDDED STEEL, IF ENCOUNTERED, TO BARE METAL CONDITION. (SSPC - SP11).

5. WHERE CORRODED STEEL IS EVIDENT. SUBSTRATE SHALL BE CHIPPED 3/4" MINIMUM TO 1-1/2" MAXIMUM BEHIND REBAR.

6. REMOVE ADDITIONAL SUBSTRATE TO EXPOSE AND CLEAN CORRODED STEEL WHICH HAS SCALED RUST (BARS WITH ONLY LIGHT SURFACE RUST AND SOLID STONE COVER MAY BE LEFT ALONE.)

 EXAMINE SUBSTRATE FOR CRACKS. REPORT TO ENGINEER.

 SCARIFY SUBSTRATE TO 1/8" MINIMUM SURFACE PROFILE (ICRI - CSP 8 OR 9). WASH SUBSTRATE AND LEAVE SSD (SATURATED SURFACE DRY) CONDITION.

9. APPLY SLURRY COAT TO ALL STONE SUBSTRATE (1 COAT) AND EMBEDDED STEEL OR REBAR (2 COATS).

10. APPLY SPECIFIED REPAIR MORTAR AFTER SLURRY COAT AGENT TO ACHIEVE A "WET-ON-WET" APPLICATION.

11. ONCE REPAIR MORTAR HAS FULLY CURED. APPLY MASONRY COATING TO MATCH EXISTING COATING AND BEYOND TO NEAREST BED AND HEAD JOINTS OF THE REPAIRED STONE

12. SECTION SHOWN SCHEMATICALLY.

ALL WORK ASSOCIATED WITH THIS SHEET TO BE PERFORMED BY THE GENERAL CONTRACTOR, UNLESS DESIGNATED OTHERWISE

REPAIR AREA -

CONCRETE

SUBSTRATE

(SHOWN SCHEMATIC)

GENERAL PROCEDURES FOR SPALL REPAIR

- BACK-ANGLE SAWCUT PERIMETER POLYGON SHAPE (DO NOT CUT REINFORCEMENT).
- CHIP OUT ALL DETERIORATED CONCRETE, EXTENDING 3/4" MINIMUM AROUND REBAR (OR MINIMUM AGGREGATE SIZE, IF NECESSARY; AS INDICATED IN NOTES BELOW SECTION).
- CLEAN ALL EXPOSED REINFORCING STEEL TO BARE METAL CONDITION. (SSPC - SP11).
- REMOVE ADDITIONAL SUBSTRATE TO EXPOSE AND CLEAN CORRODED STEEL WHICH HAS SCALED RUST (BARS WITH ONLY LIGHT SURFACE RUST AND SOLID CONCRETE COVER MAY BE LEFT ALONE.)
- EXAMINE REBAR AND DETERMINE SECTION LOSS. BARS WITH 25% OR GREATER LOSS SHALL RECEIVE SUPPLEMENTARY REINFORCEMENT.(REFER TO DETAIL). REMOVAL OF ADDITIONAL SOUND CONCRETÉ TO ALLOW PLACÉMENT OF SUPPLEMENTAL STEEL SHALL NOT BE INCLUDED IN SPALL REPAIR QUANTITIES. EXAMINE SUBSTRATE FOR CRACKS, REFER TO CRACK REPAIR AS
- SCARIFY SUBSTRATE TO 1/8" MINIMUM SURFACE PROFILE (ICRI-CSP 8 OR 9). WASH SUBSTRATE AND LEAVE SSD (SATURATED SURFACE DRY) CONDITION.
- APPLY EPOXY MODIFIED CEMENTITIOUS PRIMER/ BOND AGENT TO ALL CONCRETE SUBSTRATE (1 COAT) AND EMBEDDED STEEL OR
- AT VERTICAL SPALLS WITH A DEPTH GREATER THAN 1-1/2", DRILL AND EPOXY 1/4" MIN. DIAMETER STAINLESS STEEL PINS INTO SUBSTRATE OF REPAIR AREA. MAINTAIN 2" MIN. EDGE DISTANCE FOR EACH PIN. SPACE PINS 6" O.C. EACH WAY. DRAPE PINS WITH 2" x 2"x 14 (MIN.) GAUGE STAINLESS STEEL OR EPOXY COATED WIRE MESH WITH 1-1/2" COVER. MESH IS REQUIRED AT EACH 1-1/2" DEPTH OF REPAIR. TIE ALL MESH TO EACH PIN. PINNING IS ALSO REQUIRED AT CORNER AND PANEL PERIMETER SPALL REPAIRS, REGARDLESS OF SPALL DEPTH.
- PREPARE SAMPLE OF REPAIR MORTAR FOR APPROVAL OF COLOR. ADJUST MIX UNTIL COLOR IS ACCEPTABLE. APPLY SPECIFIED REPAIR MORTAR AFTER BONDING AGENT TO ACHIEVE A "WET-ON-WET" APPLICATION.
- WHERE CORRODED STEEL IS EVIDENT, OR WHEN MORE THAN HALF OF THE REBAR DIAMETER IS EXPOSED, SUBSTRATE SHALL BE CHIPPED 3/4" MINIMUM TO 1-1/2" MAXIMUM BEHIND REBAR.
- CONCRETE SECTION SHOWN SCHEMATICALLY.

TYPICAL CONCRETE SPALL REPAIR

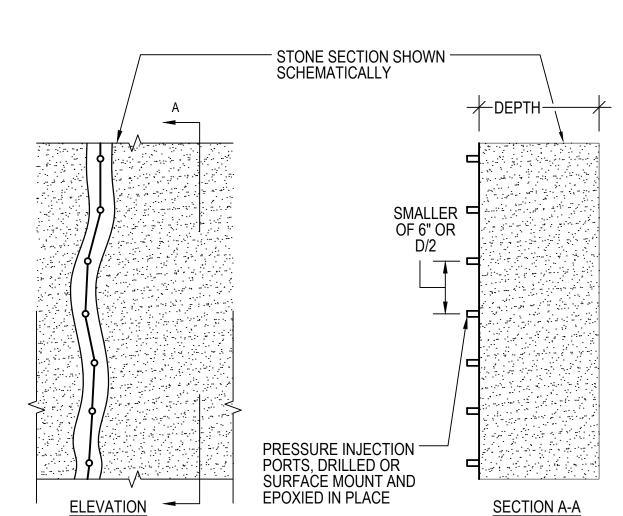
SCALE: NOT TO SCALE (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING)

GENERAL PROCEDURES FOR SHALLOW STONE SPALL REPAIR:

(REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION)

WIDEN CRACKS AS REQUIRED BY CONTINUOUS SAWCUT ROUTING. CLEAN OUT

- SPACE PORTING DEVICES AS REQUIRED BASED ON DEPTH AND WIDTH OF CRACK. DO NOT SPACE GREATER THAN 6" APART, OR D/2.
- MASK EDGES OF CRACK TO CONTROL WIDTH OF APPLIED CAP SEAL.
- 4. INSERT PORTING DEVICES.
- 5. APPLY EPOXY CAP SEAL CONTINUOUSLY ALONG CRACK AND AROUND PORTS. CLEAR PORTS TO ENSURE EPOXY HAS NOT BLOCKED PASSAGE.
- AFTER CAP SEAL CURE, USE HIGH-PRESSURE INJECTION EQUIPMENT TO INJECT APPROPRIATE VISCOSITY EPOXY INTO PORTS. START AT BOTTOM PORT, FILLING FULL DEPTH OF CRACK. DO NOT MOVE TO NEXT PORT UNTIL EPOXY BEGINS TO FLOW FROM ADJACENT PORT, THUS INDICATING TRAVEL. EXTEND EPOXY WITH SAND IF REQUIRED AS SPECIFIED.
- 7. AFTER ENTIRE CRACK IS FILLED AND EPOXY CURED. REMOVE PORTS AND GRIND CAP SEAL FLUSH.
- 9. QUANTITY OF PORTS SHOWN SCHEMATICALLY.



ALL WORK ASSOCIATED WITH THIS DETAIL SHALL BE CARRIED AS UNIT PRICE WORK.

COLOR OF CAP SEAL TO MATCH EXISTING STONE AS CLOSELY AS POSSIBLE. COLLECT STONE DUST AND APPLY TO SURFACE OF CAP SEALANT TO BLEND REPAIR.

ALL WORK ASSOCIATED WITH THIS SHEET TO BE PERFORMED BY THE MASONRY CONTRACTOR, UNLESS DESIGNATED OTHERWISE

TYPICAL CRACK PRESSURE INJECTION EPOXY REPAIR

A504 SCALE: NOT TO SCALE (ALL ITEMS ARE NEW UNLESS DESIGNATED AS EXISTING) GALE

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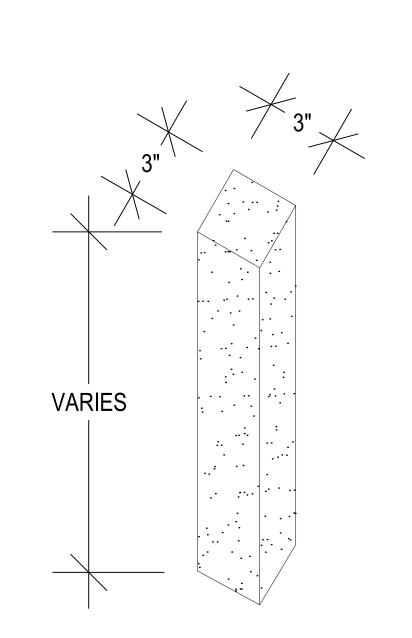
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02/20/2025 DRAWING SCALE 1/8"=1'-0"

GRAPHIC SCALE

SHEET TITLE

DETAILS



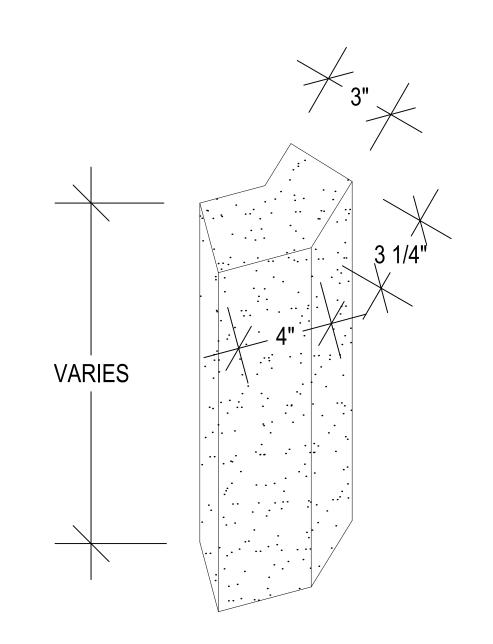
CAST STONE TYPE	APPROXIMATE CAST STONE LENGTH
TYPE 1A	1' - 0"
TYPE 1B	1' - 8"

FOR STONE ANCHORING, REFER TO DETAIL 5/A505.

CAST STONE QUOIN REPLACEMENT- TYPE 1

A505 SCALE: 3"=1'-0"



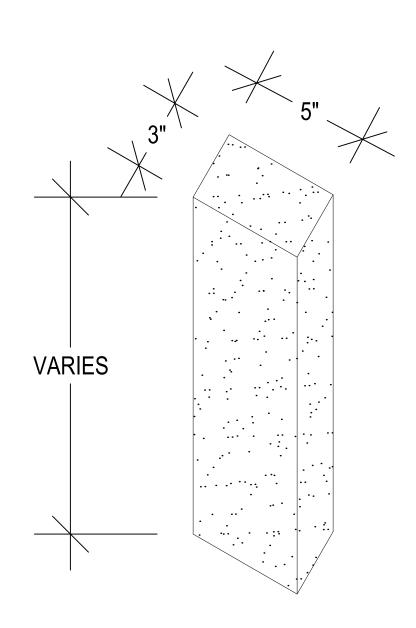


CAST STONE TYPE	APPROXIMATE CAST STONE LENGTH
TYPE 2A	1' - 0" ± V.I.F.
TYPE 2B	1' - 8" ± V.I.F.

FOR STONE ANCHORING, REFER TO DETAIL 5/A505.

4 ANGLED CAST STONE QUOIN REPLACEMENT- TYPE 3

0 3" 6" 9"



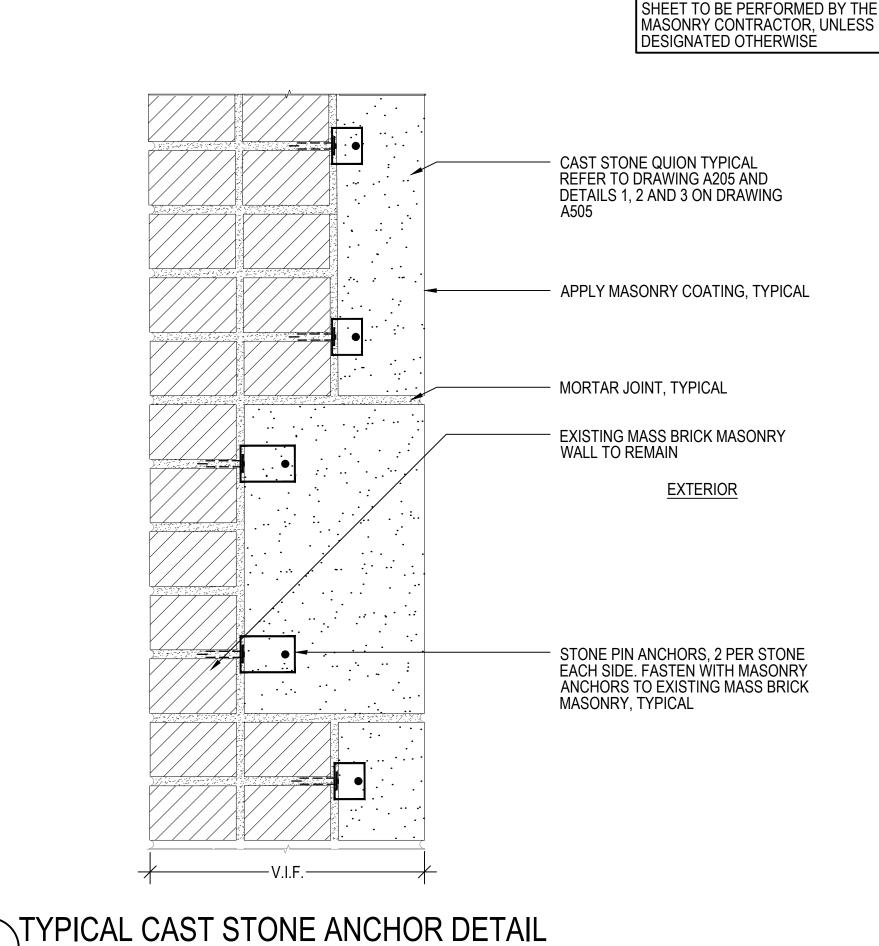
CAST STONE TYPE	APPROXIMATE CAST STONE LENGTH	
TYPE 2A	1' - 0" ± V.I.F.	
TYPE 2B	1' - 8" ± V.I.F.	
FOR CTONE ANGLIODING DEFER TO DETAIL F/AFOF		

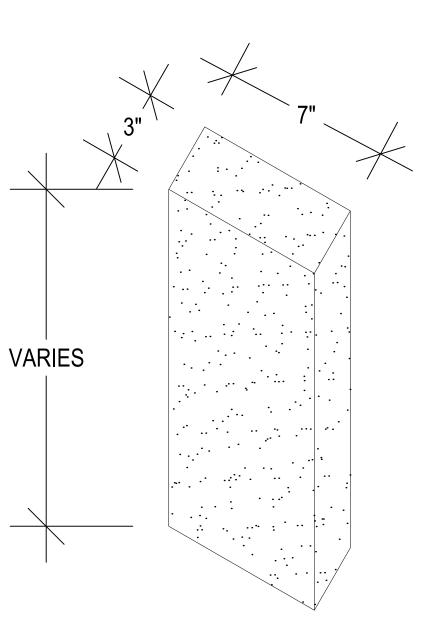
ALL WORK ASSOCIATED WITH THIS

FOR STONE ANCHORING, REFER TO DETAIL 5/A505.

CAST STONE QUOIN REPLACEMENT - TYPE 2

A505 SCALE: 3"=1'-0"





	CAST STONE TYPE	APPROXIMATE CAST STONE LENGTH	
	TYPE 3A	1' - 0" ± V.I.F.	
	TYPE 3B	1' - 8" ± V.I.F.	
•	FOR STONE ANCHORING, REFER TO DETAIL 5/A505.		

CAST STONE QUOIN REPLACEMENT- TYPE 3

SCALE: 3"=1'-0"

TYPICAL CAST STONE REPLACEMENT NOTES

- 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE DESIGN DRAWINGS AND PROJECT SPECIFICATIONS.
- 2. THE CONTRACTOR IS TO PROVIDE MEANS AND METHODS TO SAFELY REMOVE THE CAST STONE PANELS AS SPECIFIED WITHIN THE DESIGN DOCUMENTS. SHORING, STAGING AND PROTECTION OF THE EXISTING STRUCTURE, WINDOWS AND OVERHEAD SIDEWALK MEASURES WILL BE REQUIRED. DURING THE REMOVAL PROCEDURE, THE CONTRACTOR SHALL USE PROPER TOOLS AND EQUIPMENT TO MINIMIZE DAMAGE TO ADJACENT STONES. DAMAGE TO ADJACENT STONES CAUSED BY REMOVAL OF THE STONES SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL REUSE THE REMOVED CAST STONE PANELS TO THE EXTENT POSSIBLE.
- 3. SAMPLES AND MOCK-UP: THE CONTRACTOR IS TO SUBMIT THREE (3) DIFFERENT SAMPLES, 10" X 12" FOR APPROVAL BY THE OWNER AND ENGINEER. THE SAMPLES SHALL BE TYPICAL OF THE GRADE, COLOR AND FINISH AS SPECIFIED. THE SAMPLE AGREED UPON SHALL PROVIDE THE BASIS OF THE CONTRACT AGREEMENT. FOR REFERENCE OF THE EXISTING STONE COLOR AND TEXTURE THE CONTRACTOR SHALL CLEAN EXISTING, STAINED SAMPLE STONE WITH LAUNDRY DETERGENT AND WATER AND A FIBER-BRISTLE BRUSH AND COMPARE THE CLEANED STONE WITH SAMPLES SUBMITTED FOR REPLACEMENTS.
- 4. PRIOR TO REMOVING CAST STONE PANELS, A FULL MEASURE-UP OF THE EXISTING PANELS WILL BE REQUIRED. THE CONTRACTOR IS TO PROVIDE AN EQUALLY SIZED, COLOR AND TEXTURE STONE PANEL WHICH IS THEN TO BE INSTALLED AS SPECIFIED WITHIN THE DESIGN DOCUMENTS. ALL REPLACED STONE PANELS SHALL BE ACCURATELY CUT TO SHAPE AND DIMENSIONS AND FULL TO THE SQUARE, WITH JOINTING AS SHOWN ON APPROVED DRAWINGS. ALL EXPOSED FACES SHALL BE DRESSED TRUE AND BEDS AND JOINTS SHALL BE AT RIGHT ANGLES TO THE FACE, AND JOINTS SHALL MATCH THE UNIFORM THICKNESS UNLESS OTHERWISE SHOWN OR NOTED ON DRAWINGS.
- 5. UPON REMOVAL OF THE CAST STONE PANELS, THE CONTRACTOR SHALL REVIEW THE CONDITION OF THE SUBSTRATE WITHIN THE BACK-UP WALL AS WELL AS THE EXPOSED STEEL FRAMING.
- 5.1. IF HEAVILY CORRODED OR QUESTIONABLE MASONRY SUBSTRATE IS NOTED, CONTRACTOR IS TO NOTIFY ENGINEER OF RECORD FOR FURTHER REVIEW AND DESIGN RECOMMENDATIONS. UNDER NO CIRCUMSTANCE IS THE CONTRACTOR TO PERFORM REPLACEMENT WORK ON SUBSTRATE THAT APPEARS UNSUITABLE FOR THE SPECIFIED REPAIRS.
- 5.2. IF SUBSTRATE IS FOUND IN GOOD CONDITION CONTRACTOR IS TO REMOVE ALL LOOSE AND BOND INHIBITING ITEMS WITHIN THE BACK-UP WALL AND REBUILD THE EXISTING MATERIAL AS REQUIRED. INFILL CAVITIES WITH SPECIFIED REPAIR MORTAR.
- THE CONTRACTOR IS THEN TO CLEAN AND COAT THE EXISTING STEEL FRAMING ALONG ALL. EXPOSED STEEL SURFACES. IF THE EXPOSED RELIEVING ANGLE INDICATES HEAVY CORROSION ALONG THE HORIZONTAL LEG THE CONTRACTOR IS TO REMOVE THE CAST STONE PIECE ABOVE TO THE EXTEND REQUIRED IN ORDER TO PROVIDE THE SPECIFIED STEEL CLEANING, STRENGTHENING AND COATING ALONG THE STEEL ANGLE, ON A UNIT PRICE BASIS. PLEASE NOTE THAT THE STONE REMOVAL ALONG THE WINDOW SILL MAY REQUIRE ADDITIONAL SHORING OF THE CAST STONE PANELS AS WELL AS TEMPORARY REMOVAL AND RE-INSTALLATION OF THE WINDOW UNIT.
- IF THE SECTION LOSS OF THE EXISTING STEEL IS FOUND TO BE GREATER THAN 1/8" THE ANGLE SHALL BE REPLACED OR STRENGTHENED AS SPECIFIED WITHIN THE DESIGN DETAILS, ON A UNIT PRICE BASIS. PLEASE NOTE THAT THE STONE REMOVAL ALONG THE WINDOW SILL MAY REQUIRE ADDITIONAL SHORING OF THE LIMESTONE PANELS AS WELL AS TEMPORARY REMOVAL AND RE-INSTALLATION OF THE WINDOW UNIT.
- 6. HOLES SHALL BE CUT IN STONES FOR ALL ANCHORS, CRAMPS, DOWELS AND OTHER TIE-BACK AND SUPPORT DEVICES PER INDUSTRY STANDARD PRACTICE AND/OR APPROVED SHOP DRAWINGS. ALL REQUIRED EXPANSION ANCHOR HOLES SHALL BE DRILLED AT JOBSITE BY MASON OR ERECTOR TO FACILITATE ALIGNMENT. NO HOLES OR SINKAGES WILL BE PROVIDED FOR CONTRACTOR'S HANDLING DEVICES UNLESS ARRANGEMENT FOR THIS SERVICE IS MADE BY THE CONTRACTOR WITH THE STONE SUPPLIER. PROVIDE THE SPECIFIED PINS, ANCHORS AND TIE-BACK DEVICES. PROVIDE ALL TIE-SPACING AND CLEARANCES REQUIREMENTS AS INDICATED IN THE DETAILS AND AS RECOMMENDED BY INDUSTRY STANDARDS.
- 7. SURROUNDING STONES AND BUILDING COMPONENTS INDICATED TO REMAIN SHALL BE PHOTOGRAPHED PRIOR TO INITIATING WORK. EXISTING DAMAGED STONES NOT SHOWN ON THE CONTRACT DRAWINGS SHALL BE DOCUMENTED AND REPORTED TO THE ENGINEER. ADDITIONAL STONE REPAIRS WILL BE PERFORMED ON A UNIT PRICE BASIS.

TYPICAL STONE REPLACEMENT NOTES

SCALE: NOT TO SCALE

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BID DOCUMENTS

BUILDING ENVELOPE UPGRADES AT SELL HALL, UNIVERSITY OF SOUTHERN I OWNERSITY WAY, GORHAM, ME 04038

OWNER

UNIVERSITY OF MAINE SYSTEM BY AND THROUGH UNIVERSITY OF MAINE

RUSSELL HAI 24 UNIVER

NO. DATE DESCRIPTION BY
PROJECT NO. 842520

CADD FILE 842520 A500s

DESIGNED BY ALS

DRAWN BY DAC

DRAWN BY

CHECKED BY

ALS / BHN

DATE

02/20/2025

DRAWING SCALE

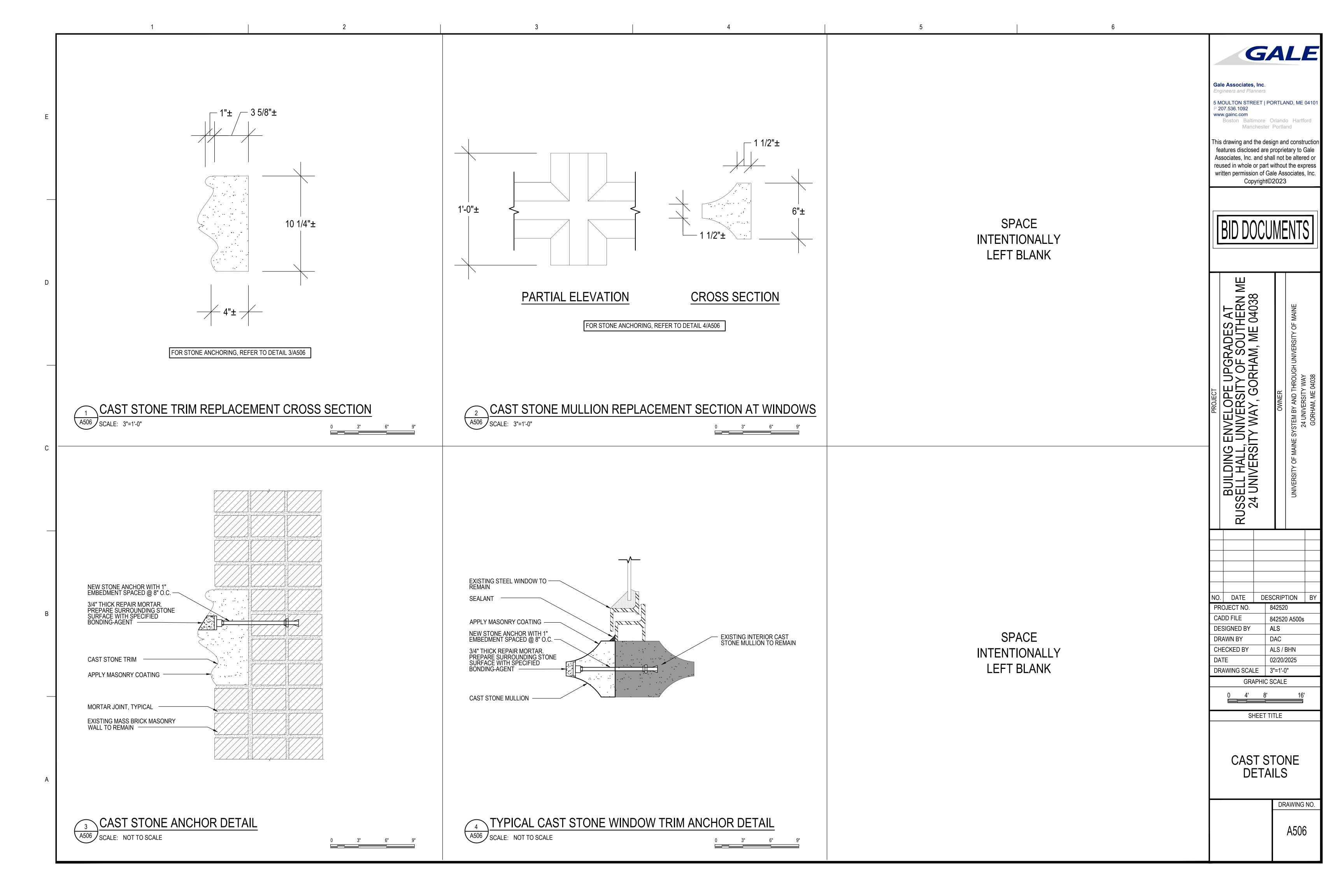
GRAPHIC SCALE

SHEET TITLE

CAST STONE DETAILS

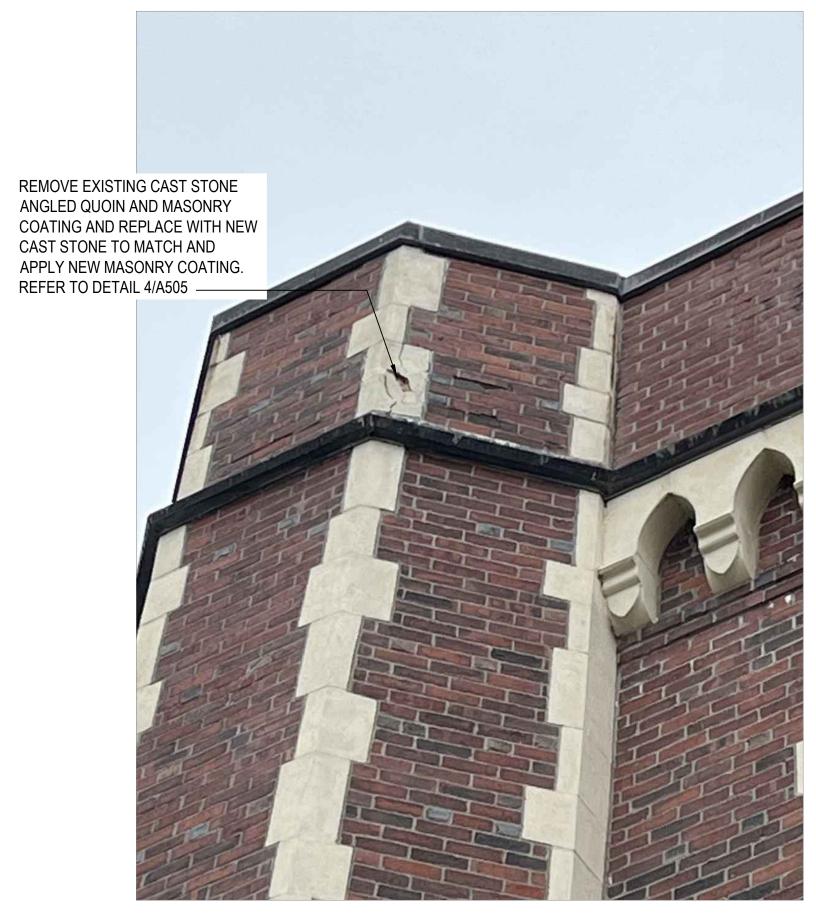
DRAWING NO

A505

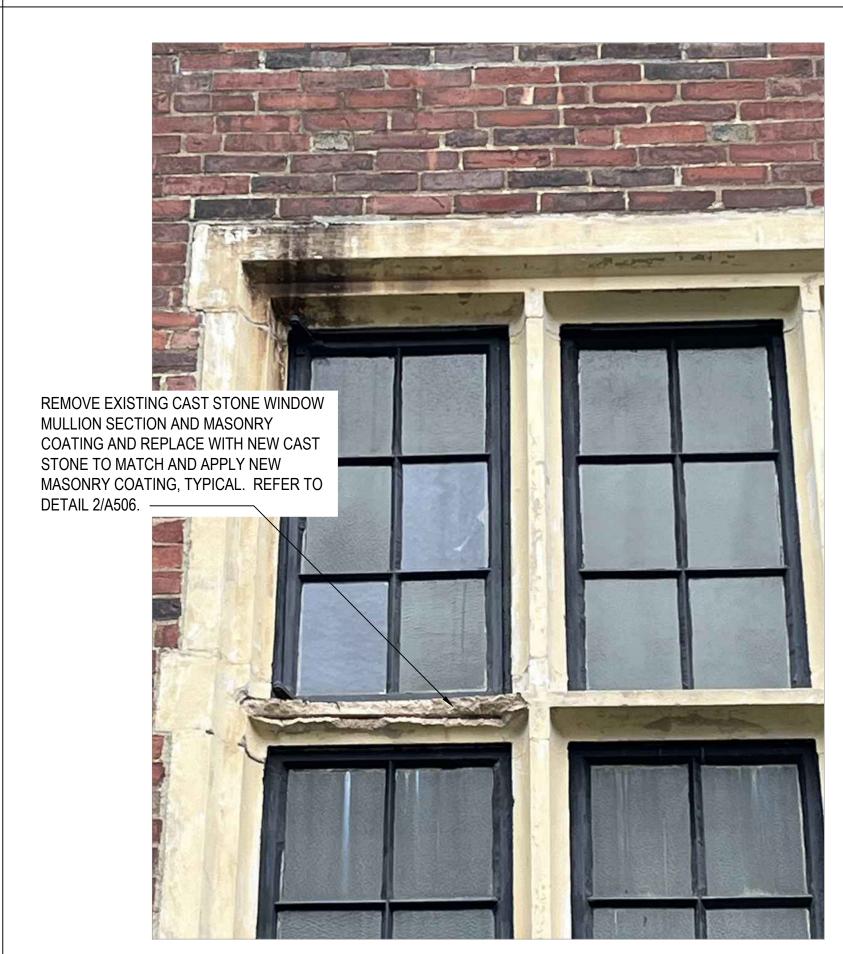


REMOVE EXISTING CAST STONE QUOIN AND MASONRY COATING AND REPLACE WITH NEW CAST STONE TO MATCH AND APPLY NEW MASONRY COATING, TYPICAL. REFER TO DETAILS 1, 2 AND 3/A505.

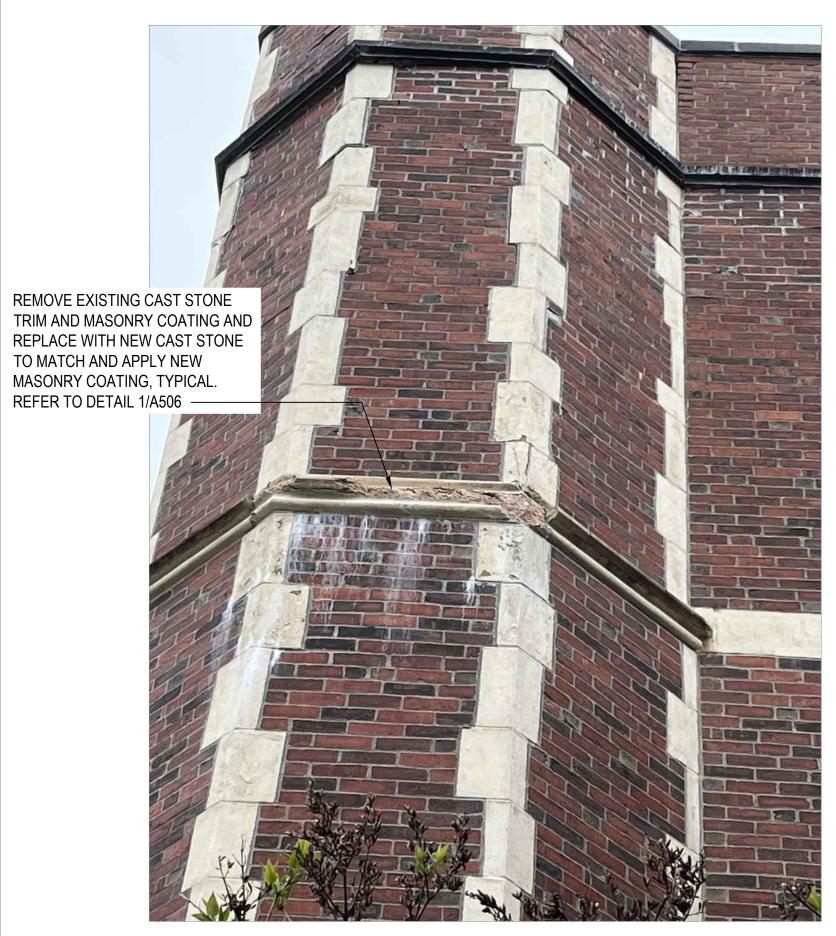
TYPICAL CAST STONE QUOIN REPLACEMENTS AT PENTHOUSE SCALE: NOT TO SCALE



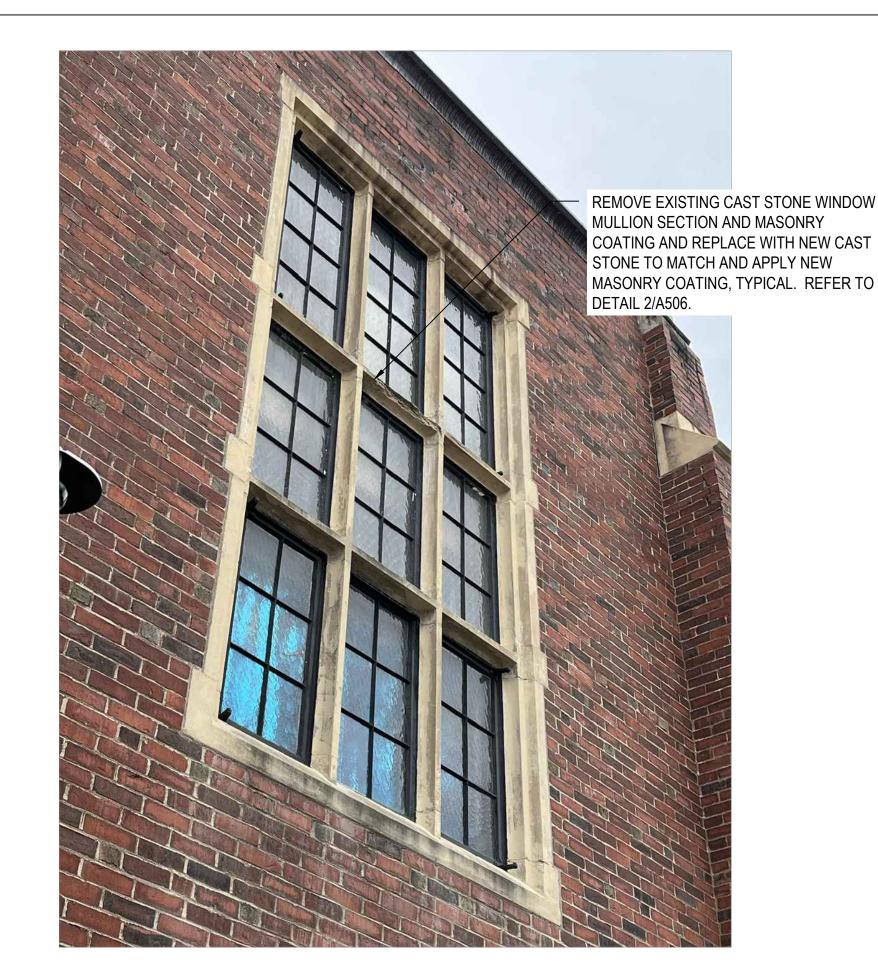
CAST STONE ANGLED QUOIN REPLACEMENT A507 SCALE: NOT TO SCALE



CAST STONE WINDOW MULLION SECTION REPLACEMENT A507 SCALE: NOT TO SCALE



CAST STONE TRIM REPLACEMENT SCALE: NOT TO SCALE



CAST STONE WINDOW MULLION SECTION REPLACEMENT SCALE: NOT TO SCALE

GALE

Gale Associates, Inc. Engineers and Planners

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BUILD RUSSELL HA DESCRIPTION PROJECT NO. 842520

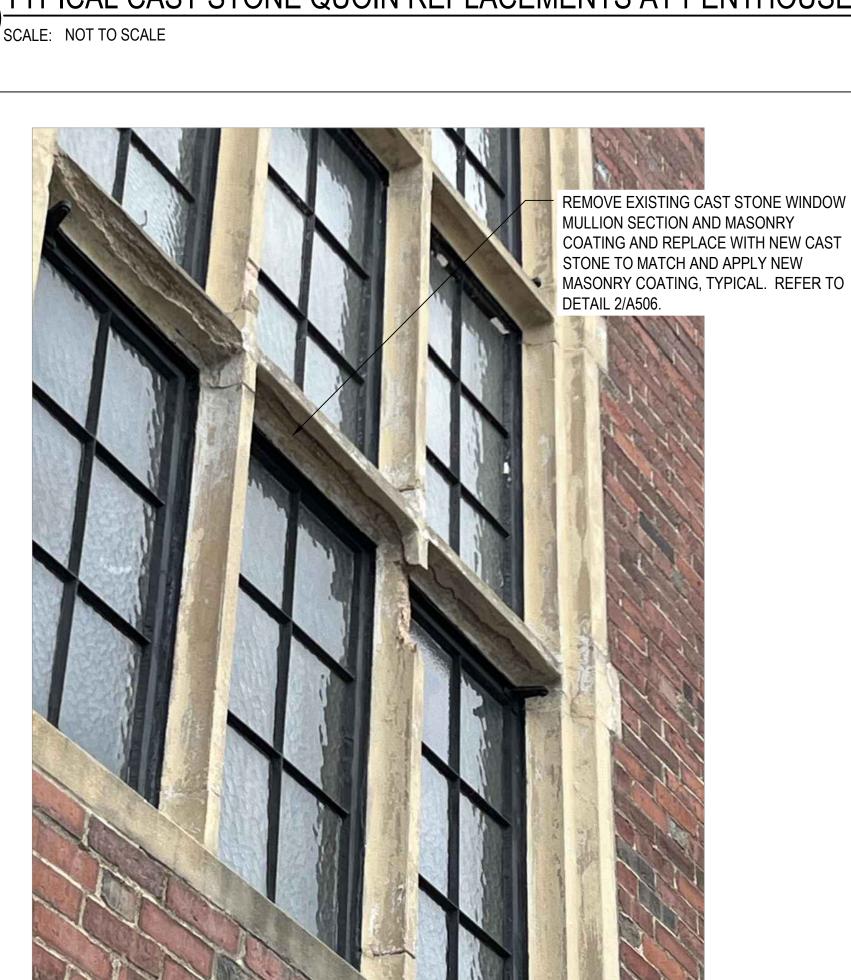
CADD FILE 842520 A500s **DESIGNED BY DRAWN BY** DAC CHECKED BY ALS / BHN 02/20/2025 DRAWING SCALE 3"=1'-0"

GRAPHIC SCALE

SHEET TITLE

TYPICAL CAST STONE CONDITION PHOTOS

DRAWING NO.



CAST STONE WINDOW MULLION SECTION REPLACEMENT SCALE: NOT TO SCALE